



**CITY OF CLERMONT
COUNCIL MEETING AGENDA
6:30 PM, Tuesday, July 12, 2016**

Welcome to our Council meeting. In the interest of time efficiency and ensuring that everyone who wishes to address the Council is given the opportunity to do so, the following will apply to all comments made by the public. For items listed on the agenda, each speaker will be permitted 5 minutes to address the Council. For non-agenda items, each speaker will be permitted 3 minutes to address the Council. These time limits may be changed by the Mayor. Thank you for participating in your City Government.

CALL TO ORDER

INVOCATION & PLEDGE OF ALLEGIANCE

PUBLIC COMMENTS

REPORTS

CONSENT AGENDA

The next portion of the meeting is the consent agenda which contains items that have been determined to be routine and non-controversial. If anyone in the audience wishes to address a particular item on the consent agenda, now is the opportunity for you to do so. Additionally, if staff or members of the City Council wish to speak on a consent item, they have the same opportunity.

Item No. 1 - Plat Approval

Esplanade Phase 1 Replat

Consider approval of Highland Ranch

Esplanade Phase 1 replat.

Item No. 2 - Plat Approval

Esplanade Phase 1 A Replat

Consider approval of Highland Ranch

Esplanade Phase 1 A replat.

NEW BUSINESS

Item No. 3 - Event and Open Container Request

Pig On The Pond

Consider request from Pig On The Pond to approve event to be held March 3, 4, and 5, 2017; open container in approved area; fee waiver; signage; and trail closure.

Item No. 4 - Variance Request

953 5th Street

Consider a variance request to allow a rear yard setback of 15 feet for property located at 953 5th Street.

Item No. 5 - Variance Request

Headquarter Honda

Consider a variance request to allow a monument sign to exceed 8 feet in height and to allow monument sign to exceed 60 square feet in copy area for property located at 17700 East Highway 50.

Item No. 6 - Ordinance No. 2016-34

Introduction

Consider introduction of Ordinance to establish a Special Magistrate.

**CITY OF CLERMONT
COUNCIL MEETING AGENDA
6:30 PM, Tuesday, July 12, 2016**

ADJOURN

Any person wishing to appeal any decision made by the City Council at this meeting will need a record of the proceedings. For that purpose, such person may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is based. In accordance with the Americans with Disabilities Act (ADA), if any person with a disability defined by the ADA needs special accommodation to participate in this proceeding, then not later than two business days prior to the proceeding he/she should contact Clermont, City Clerk's Office, 352-241-7330.

Please be advised that if you intend to show any document, picture, video or items to the Council or Board in support or opposition to any item on the agenda; a copy of the document, picture, video or item must be provided to the City Clerk for the City's records.



CITY OF CLERMONT

AGENDA ITEM

Page 1 of 1

Meeting Date			
Tuesday, July 12, 2016			
Agenda Item Name			
Plat Approval <i>Esplanade Phase 1 Replat</i>			
Requested Action			
Recommend approval of the replat.			
Staff Report			
The plat has been reviewed and approved by the City Engineer and Contracting Engineer.			
Additional Analysis			
Fiscal Impact Summary			
Fiscal Impact	Fund Number and Description	Available Budget Amount	
Exhibits Attached (copies of original agreements)			
1. Plat Final Highlands Ranch Esplanade Phase 1_replat_11x17.pdf			

Drawing name: S:\Book Work\Taylor Morrison_89252029\Plotting_50264219\Plotting\Depicts\Highlands Ranch Esplanade Phase 1.mxd, saved: 1:37pm by: mpollins

HIGHLAND RANCH ESPLANADE PHASE 1 REPLAT
BEING A REPLAT OF LOTS 48 THROUGH 50 AND LOTS 61 THROUGH 64, HIGHLANDS RANCH
ESPLANADE PHASE 1 AS RECORDED IN PLAT BOOK 66, PAGES 31 THROUGH 36 PUBLIC RECORDS
OF LAKE COUNTY, FLORIDA
LOCATED IN SECTIONS 10 AND 15, TOWNSHIP 22 SOUTH, RANGE 26 EAST,
CITY OF CLERMONT, LAKE COUNTY, FLORIDA.

LEGAL DESCRIPTION

LOTS 48 THROUGH 50, HIGHLAND RANCH ESPLANADE PHASE 1, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 66, PAGES 31 THROUGH 36, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA AND A PORTION OF SECTIONS 10 AND 15, TOWNSHIP 22 SOUTH, RANGE 26 EAST, CITY OF CLERMONT, LAKE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

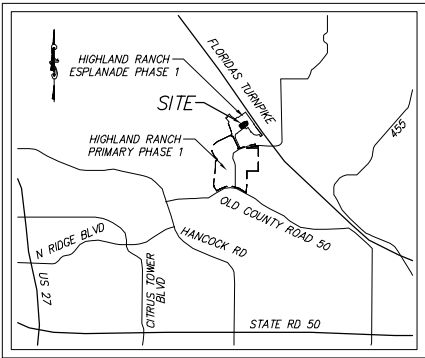
COMMENCE AT THE NORTHWEST CORNER OF SAID SECTION 15; THENCE S89°21'59" E, ALONG THE NORTH LINE OF THE NORTHWEST 1/4 OF SAID SECTION 15, A DISTANCE OF 295.30 FEET TO A POINT ON THE SOUTHEASTERLY LINE OF LOT 51, OF SAID HIGHLAND RANCH ESPLANADE PHASE 1 AND THE POINT OF BEGINNING; THENCE N54°31'55" E ALONG SAID SOUTHEASTERLY LINE, A DISTANCE OF 42.31 FEET TO THE SOUTHWESTERLY RIGHT OF WAY LINE OF BRAEWOOD DRIVE (TRACT CC) A 60.00 FOOT WIDE PRIVATE RIGHT OF WAY ACCORDING TO SAID PLAT OF HIGHLAND RANCH ESPLANADE PHASE 1; THENCE S35°28'05" E ALONG SAID SOUTHWESTERLY RIGHT OF WAY LINE, A DISTANCE OF 166.72 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE WESTERLY, HAVING A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 90°00'00", A CHORD BEARING OF S09°31'55" W AND A CHORD DISTANCE OF 35.36 FEET; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 39.27 FEET TO A POINT ON THE NORTHWESTERLY RIGHT OF WAY LINE OF TIMBERVALE TRAIL (TRACT CC) A 60.00 FOOT WIDE PRIVATE RIGHT OF WAY PER SAID PLAT OF HIGHLAND RANCH ESPLANADE PHASE 1 AND THE POINT OF TANGENCY; THENCE S54°31'55" W ALONG SAID NORTHWESTERLY RIGHT OF WAY LINE, A DISTANCE OF 98.00 FEET; THENCE DEPARTING SAID NORTHWESTERLY RIGHT OF WAY LINE RUN N35°28'05" W ALONG THE NORTHEASTERLY LINE OF LOTS 47, 46 AND 45 OF SAID PLAT, A DISTANCE OF 191.72 FEET; THENCE N54°31'55" E, A DISTANCE OF 80.69 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH:

LOTS 61 THROUGH 64, HIGHLAND RANCH ESPLANADE PHASE 1, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 66, PAGES 31 THROUGH 36, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA AND A PORTION OF SECTIONS 10 AND 15, TOWNSHIP 22 SOUTH, RANGE 26 EAST, CITY OF CLERMONT, LAKE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF SAID SECTION 15; THENCE S89°21'59" E, ALONG THE NORTH LINE OF THE NORTHWEST 1/4 OF SAID SECTION 15, A DISTANCE OF 421.93 FEET TO A POINT ON THE NORTHEASTERLY RIGHT OF WAY LINE OF BRAEWOOD DRIVE (TRACT CC) A 60.00 FOOT WIDE PRIVATE RIGHT OF WAY ACCORDING TO SAID PLAT OF HIGHLAND RANCH ESPLANADE PHASE 1 AND THE POINT OF BEGINNING; THENCE N35°28'05" W ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 72.89 FEET TO THE MOST SOUTHERLY CORNER OF LOT 60 OF SAID HIGHLAND RANCH ESPLANADE PHASE 1; THENCE N54°31'55" E ALONG THE SOUTHEASTERLY LINE OF SAID LOT 60, A DISTANCE OF 119.00 FEET TO THE MOST EASTERLY CORNER OF SAID LOT 60 ; THENCE S35°28'05" E ALONG THE SOUTHWESTERLY LINE OF LOT 65 OF SAID PLAT, A DISTANCE OF 50.00 FEET; THENCE RUN N54°31'55" E ALONG THE SOUTHEASTERLY LINE OF SAID LOT 65, A DISTANCE OF 131.00 FEET TO A POINT ON THE SOUTHWESTERLY RIGHT OF WAY LINE OF TIMBERVALE TRAIL (TRACT CC) A 60.00 FOOT WIDE PRIVATE RIGHT OF WAY PER SAID PLAT OF HIGHLAND RANCH ESPLANADE PHASE 1; THENCE RUN ALONG THE RIGHT OF WAY LINE OF SAID TIMBERVALE TRAIL THE FOLLOWING FOUR (4) COURSES: S35°28'05" E, A DISTANCE OF 45.00 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE WESTERLY, HAVING A RADIUS OF 95.00 FEET, A CENTRAL ANGLE OF 90°00'00", A CHORD BEARING OF S09°31'55" W AND A CHORD DISTANCE OF 134.35 FEET; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 149.23 FEET TO THE POINT OF TANGENCY; THENCE S54°31'55" W, A DISTANCE OF 130.00 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE NORTHERLY, HAVING A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 90°00'00", A CHORD BEARING OF N80°28'05" W AND A CHORD DISTANCE OF 35.36 FEET; THENCE WESTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 39.27 FEET TO THE POINT OF TANGENCY AND A POINT ON THE NORTHEASTERLY RIGHT OF WAY LINE OF THE AFOREMENTIONED BRAEWOOD DRIVE; THENCE N35°28'05" W ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 92.11 FEET TO THE POINT OF BEGINNING.

CONTAINING: 62,326.35 SQUARE FEET OR 1.43 ACRES.



VICINITY MAP
1" = 5000'

SHEET INDEX

SHEET 1	COVER SHEET, LEGAL DESCRIPTION, NOTES
SHEET 2	VICINITY MAP
SHEET 3	PLAT DETAILS



Dewberry

131 WEST KALEY STREET
ORLANDO, FLORIDA 32806
PHONE: 407.843.5120 FAX: 407.648.9104
WWW.DEWBERRY.COM
CERTIFICATE OF AUTHORIZATION NO. LB 8011

PLAT NOTES:

- HIGHLANDS RANCH ESPLANADE PHASE 1 IS A COMMUNITY INTENDED FOR OCCUPANCY BY PERSONS AGE 55 AND OLDER.
- BEARINGS SHOWN HEREON ARE ASSUMED AND BASED ON NORTH LINE OF THE NW 1/4 OF SECTION 15, TOWNSHIP 22 SOUTH, RANGE 26 EAST, AS BEING SOUTH 89°21'59" EAST
- ALL PLATTED UTILITY EASEMENTS SHALL PROVIDE THAT SUCH EASEMENTS SHALL ALSO BE EASEMENTS FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES; PROVIDED, HOWEVER, NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES SHALL INTERFERE WITH THE FACILITIES AND SERVICES OF AN ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. IN THE EVENT A CABLE TELEVISION COMPANY DAMAGES THE FACILITIES OF A PUBLIC UTILITY, IT SHALL BE SOLELY RESPONSIBLE FOR THE DAMAGES. THIS SECTION SHALL NOT APPLY TO THOSE PRIVATE EASEMENTS GRANTED TO OR OBTAINED BY A PARTICULAR ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION SHALL COMPLY WITH THE NATIONAL ELECTRICAL SAFETY CODE AS ADOPTED BY THE FLORIDA PUBLIC SERVICE COMMISSION.
- LOT CORNERS WILL BE SET IN ACCORDANCE WITH CHAPTER 177.091 (9) FLORIDA STATUTES AND THE CITY OF CLERMONT LAND DEVELOPMENT REGULATIONS.
- ALL LOT LINES ALONG CURVES ARE RADIAL UNLESS NOTED OTHERWISE. NON-RADIAL LINES ARE NOTED BY (NR).
- STATE PLANE COORDINATES SHOWN HEREON AND THEIR COMPUTED VALUES SHALL BE SUBORDINATED TO THE MONUMENTS, BEARINGS AND DISTANCES SHOWN ON THIS PLAT.
- ALL LOTS HAVE A 10 FOOT DRAINAGE AND UTILITY EASEMENT ACROSS THE FRONT AND A 5 FOOT DRAINAGE AND UTILITY EASEMENT ACROSS THE SIDES AND THE REAR UNLESS NOTED OTHERWISE.
- THE LANDS AS SHOWN ON THIS PLAT ARE SUBJECT TO A PERPETUAL UTILITY BLANKET TYPE EASEMENT IN FAVOR OF SUMTER ELECTRIC COOPERATIVE RECORDED IN OFFICIAL RECORDS BOOK 4537, PAGES 2092-2094 OF THE PUBLIC RECORDS OF LAKE COUNTY FLORIDA.

CERTIFICATE OF CLERK OF THE COURT

I, CLERK OF CIRCUIT COURT OF LAKE COUNTY, FLORIDA, DO HEREBY CERTIFY THAT I HAVE EXAMINED THE FOREGOING PLAT HIGHLAND RANCH PRIMARY PHASE 1 SUBDIVISION AND THAT IT COMPLIES WITH ALL THE REQUIREMENTS OF LAWS FLA. CH. 177. THIS PLAT FILED FOR RECORD THIS _____ DAY OF _____, 2016, AND RECORDED PAGE _____ OF PLAT BOOK _____ IN THE OFFICE OF THE CLERK OF CIRCUIT COURT OF LAKE COUNTY, FLORIDA.

CLERK OF THE CIRCUIT COURT, LAKE COUNTY, FLORIDA

PLAT BOOK: PAGE:

HIGHLAND RANCH
ESPLANADE PHASE 1 REPLAT
DEDICATION

KNOW ALL MEN BY THESE PRESENTS, THAT TAYLOR MORRISON OF FLORIDA, INC., A FLORIDA CORPORATION, BEING THE OWNER IN FEE SIMPLE OF THE LANDS DESCRIBED IN THE FOREGOING CAPTION TO THIS PLAT DO HEREBY DEDICATE THE FOLLOWING FOR THE USES AND PURPOSES THEREIN EXPRESSED, SUBJECT TO THE PLAT NOTES CONTAINED HEREIN.

IN WITNESS WHEREOF, THE OWNER HAS CAUSED THESE PRESENTS TO BE SIGNED BY THE OFFICER NAMED BELOW ITS CORPORATE SEAL TO BE AFFIXED HERETO ON _____, A.D. 2016.

TAYLOR MORRISON OF FLORIDA, INC., A FLORIDA CORPORATION

NAME: CHRIS TYREE

SIGNED: _____ (CORPORATE SEAL)
TITLE: VICE PRESIDENT

SIGNED AND SEALED IN THE PRESENCE OF:

WITNESS SIGNATURE PRINTED NAME

WITNESS SIGNATURE PRINTED NAME

STATE OF FLORIDA, COUNTY OF _____

THIS IS TO CERTIFY, THAT ON _____, 2016, BEFORE ME, AN OFFICER DULY AUTHORIZED TO TAKE ACKNOWLEDGEMENTS IN THE STATE AND COUNTY AFORESAID, PERSONALLY APPEARED CHRIS TYREE, AS VICE PRESIDENT OF TAYLOR MORRISON OF FLORIDA, INC., A FLORIDA CORPORATION, ON BEHALF OF THE COMPANY. HE IS PERSONALLY KNOWN BY ME OR PRODUCED _____ AS IDENTIFICATION AND DID/DID NOT TAKE AN OATH THAT HE IS THE PERSON DESCRIBED IN AND WHO EXECUTED THE FOREGOING DEDICATION AND SEVERALLY ACKNOWLEDGES THE EXECUTION THEREOF TO BE HIS FREE ACT AND DEED AS SUCH OFFICER THERETO DULY AUTHORIZED; THAT THE OFFICIAL SEAL OF SAID CORPORATION IS AFFIXED HERETO; AND THAT SAID DEDICATION IS THE ACT AND DEED OF SAID CORPORATION.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND SEAL ON THE ABOVE DATE.

NOTARY PRINTED NAME

SIGNATURE OF NOTARY MY COMMISSION EXPIRES

CERTIFICATE OF APPROVAL OF MUNICIPALITY

THIS IS TO CERTIFY, THAT THIS PLAT WAS REVIEWED IN ACCORDANCE WITH SECTION 177.081, FLORIDA STATUTES AND PRESENTED TO THE CITY OF CLERMONT, LAKE COUNTY, FLORIDA AND APPROVED BY SAID CITY COUNCIL OF CLERMONT FOR RECORD ON THE _____ DAY OF _____, 2016 PROVIDED THAT THIS PLAT IS RECORDED IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT OF LAKE COUNTY, FLORIDA WITHIN _____

ATTEST: CITY OF CLERMONT

CITY CLERK MAYOR

PRINT NAME PRINT NAME

CERTIFICATE OF SURVEYOR

KNOWN ALL MEN BY THESE PRESENTS, THAT THE UNDERSIGNED, BEING A REGISTERED SURVEYOR AND MAPPER, FULLY LICENSED TO PRACTICE IN THE STATE OF FLORIDA, DOES HEREBY CERTIFY THAT THIS PLAT WAS PREPARED UNDER HIS DIRECTION AND SUPERVISION, AND THAT THIS PLAT COMPLIES WITH ALL THE REQUIREMENTS OF SECTION 177, FLORIDA STATUTES.

DEWBERRY - 131 WEST KALEY STREET
ORLANDO, FLORIDA 32806 LICENSED BUSINESS NO. 8011

_____, DATED _____
WILLIAM D. DONLEY
FLORIDA LICENSED SURVEYOR AND MAPPER NO. LS 5381

REVIEWER STATEMENT

PURSUANT TO SECTION 177.081, FLORIDA STATUTES, I HAVE REVIEWED THIS PLAT FOR CONFORMITY TO CHAPTER 177, PART 1, FLORIDA STATUTES, AND FIND THAT SAID PLAT COMPLIES WITH THE TECHNICAL REQUIREMENTS OF THAT CHAPTER; PROVIDED, HOWEVER, THAT MY REVIEW DOES NOT INCLUDE FIELD VERIFICATION OF ANY OF THE COORDINATES, POINTS OR MEASUREMENTS SHOWN ON THIS PLAT. BOOTH, ERN, STRAUGHAN AND HIOIT, INC.
902 NORTH SINCLAIR AVENUE, TAVARES, FL 32778 (352) 343-8481
LICENSE BUSINESS NO. 7514

FOR THE FIRM:

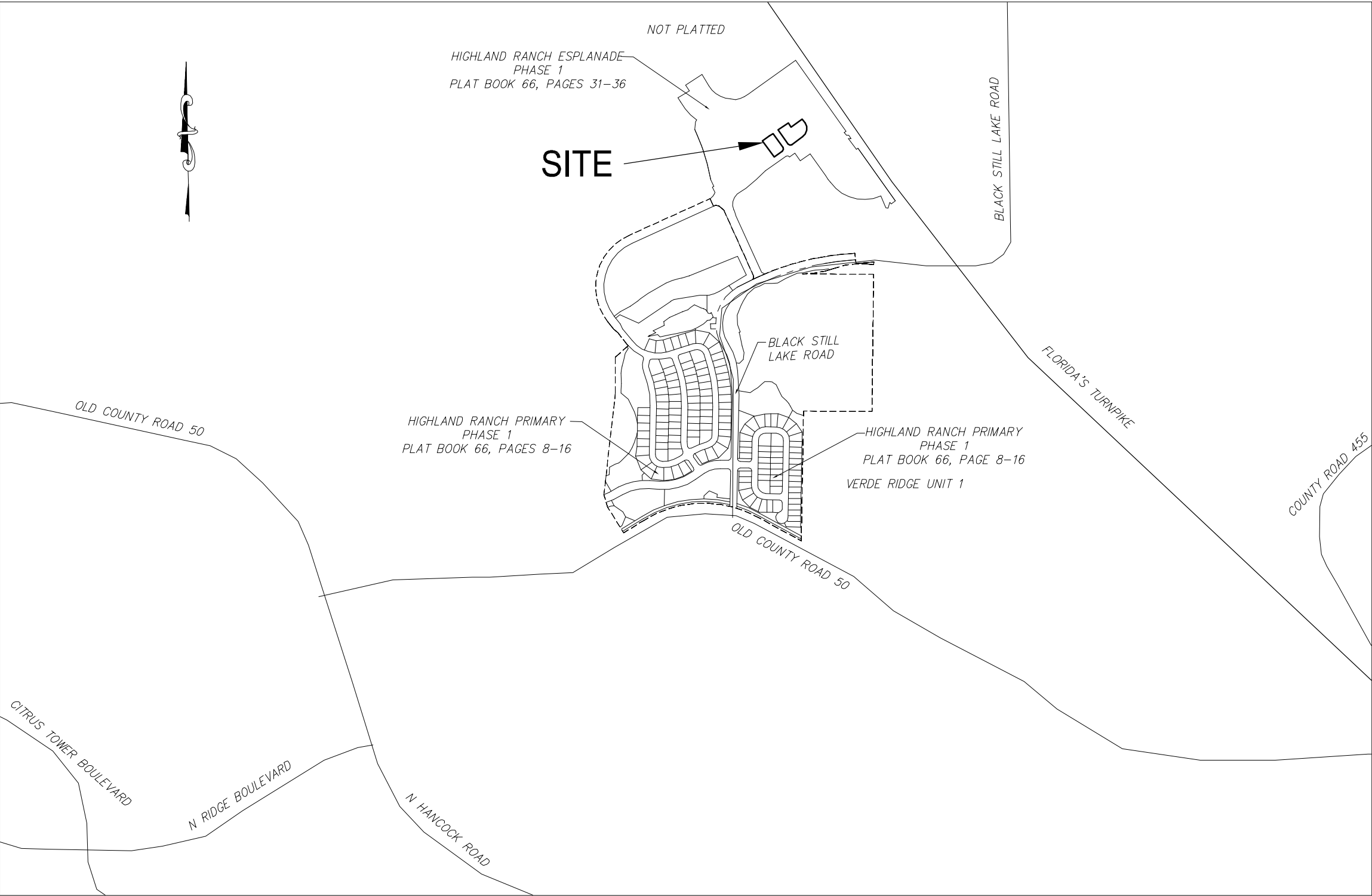
_____, DATE _____
JENNINGS E. GRIFFEN
PROFESSIONAL SURVEYOR NO. 4486

SHEET 1 OF 3

NOTICE
THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION
OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO
CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR
DIGITAL FORM OF THE PLAT.
THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS
PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

HIGHLAND RANCH ESPLANADE PHASE 1 REPLAT
BEING A REPLAT OF LOTS 48 THROUGH 50 AND LOTS 61 THROUGH 64, HIGHLANDS RANCH
ESPLANADE PHASE 1 AS RECORDED IN PLAT BOOK 66, PAGES 31 THROUGH 36 PUBLIC RECORDS
OF LAKE COUNTY, FLORIDA
LOCATED IN SECTIONS 10 AND 15, TOWNSHIP 22 SOUTH, RANGE 26 EAST,
CITY OF CLERMONT, LAKE COUNTY, FLORIDA.

PLAT
BOOK: PAGE:



SHEET INDEX	
SHEET 1	COVER SHEET, LEGAL DESCRIPTION, NOTES
SHEET 2	VICINITY MAP
SHEET 3	PLAT DETAILS



Dewberry

131 WEST KALEY STREET
ORLANDO, FLORIDA 32806
PHONE: 407.843.5120 FAX: 407.648.9104
WWW.DEWBERRY.COM
CERTIFICATE OF AUTHORIZATION NO. LB 8011

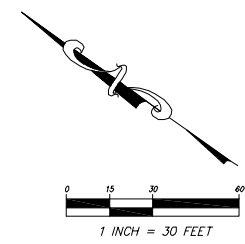
VICINITY MAP
1" = 500'

Drawing name: S:\Black West\Taylor Morrison_89230029_Platting_50264519\Platting\Reports\Highlands Ranch Esplanade Phase 1 replat.spld.ctb Plat Sheet 2 Jun 30, 2016 1:37pm by mpallares

HIGHLAND RANCH ESPLANADE PHASE 1 REPLAT
BEING A REPLAT OF LOTS 48 THROUGH 50 AND LOTS 61 THROUGH 64, HIGHLANDS RANCH
ESPLANADE PHASE 1 AS RECORDED IN PLAT BOOK 66, PAGES 31 THROUGH 36 PUBLIC RECORDS
OF LAKE COUNTY, FLORIDA
LOCATED IN SECTIONS 10 AND 15, TOWNSHIP 22 SOUTH, RANGE 26 EAST,
CITY OF CLERMONT, LAKE COUNTY, FLORIDA.

PLAT BOOK: PAGE:

SHEET INDEX	
SHEET 1	COVER SHEET, LEGAL DESCRIPTION, NOTES
SHEET 2	VICINITY MAP
SHEET 3	PLAT DETAILS

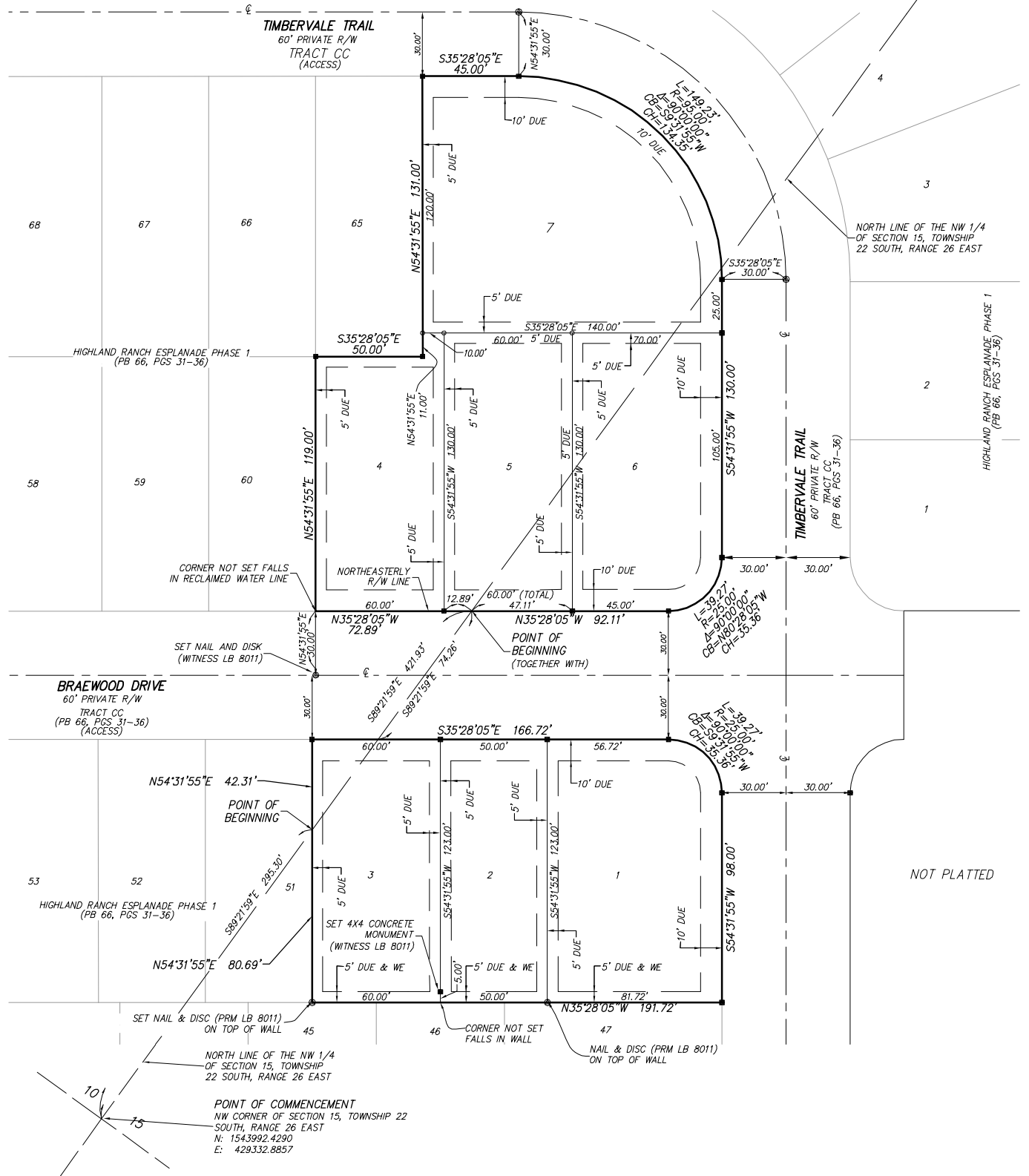


LEGEND AND ABBREVIATIONS:

±	MORE OR LESS	PI	POINT OF INTERSECTION
ID	IDENTIFICATION	L	LENGTH
ORB	OFFICIAL RECORD BOOK	R	RADIUS
PB	PLAT BOOK	Δ	DELTA
PG	PAGE	DB	DEED BOOK
CCR	CERTIFIED CORNER RECORD	CB	CHORD BEARING
DUE	DRAINAGE AND UTILITY EASEMENT	CH	CHORD DISTANCE
Q	CENTERLINE	PNT	POINT OF NON-TANGENCY
□	SET 4x4 CONCRETE MONUMENT (PRM LB 8011)	PC	POINT OF CURVATURE
●	PERMANENT REFERENCE MARKER	PCC	POINT OF COMPOUND CURVATURE
●	FOUND NAIL & DISK (AS NOTED)	POC	POINT ON CURVATURE
■	SET 4"x4" CONCRETE MONUMENT (PRM LB 8011) UNLESS NOTED	PRC	POINT OF REVERSE CURVATURE
●	SET NAIL & DISK (PCP LB 8011)	PT	POINT OF TANGENCY
○	PERMANENT CONTROL POINT	R/W	RIGHT OF WAY
○	SET 5/8" IRON ROD & CAP (LB 8011)	(R)	RADIAL
●	FOUND 1/2" IRON ROD (LB 68)	(NR)	NON RADIAL
○	FOUND 3" IRON PIPE (NO ID)	CM	CONCRETE MONUMENT
+	CHANGE IN DIRECTION (R/W LINE)	LB	LICENSED BUSINESS
WE	WALL EASEMENT	LS	LAND SURVEYOR
D.E.	DRAINAGE EASEMENT	FLDEP	FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION
U.E.	UTILITY EASEMENT	EL	ELEVATION
IP	IRON PIPE	FEMA	FEDERAL EMERGENCY MANAGEMENT ASSOCIATION
FOUND	FOUND	NGVD	NATIONAL GEODETIC VERTICAL DATUM
PRM	PERMANENT REFERENCE MARKER	NAVD	NATIONAL AMERICAN VERTICAL DATUM

NOTICE
THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT.
THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

 **Dewberry®**
131 WEST KALEY STREET
ORLANDO, FLORIDA 32806
PHONE: 407.543.5120 FAX: 407.548.9104
WWW.DEWBERRY.COM
CERTIFICATE OF AUTHORIZATION NO. LB 8011





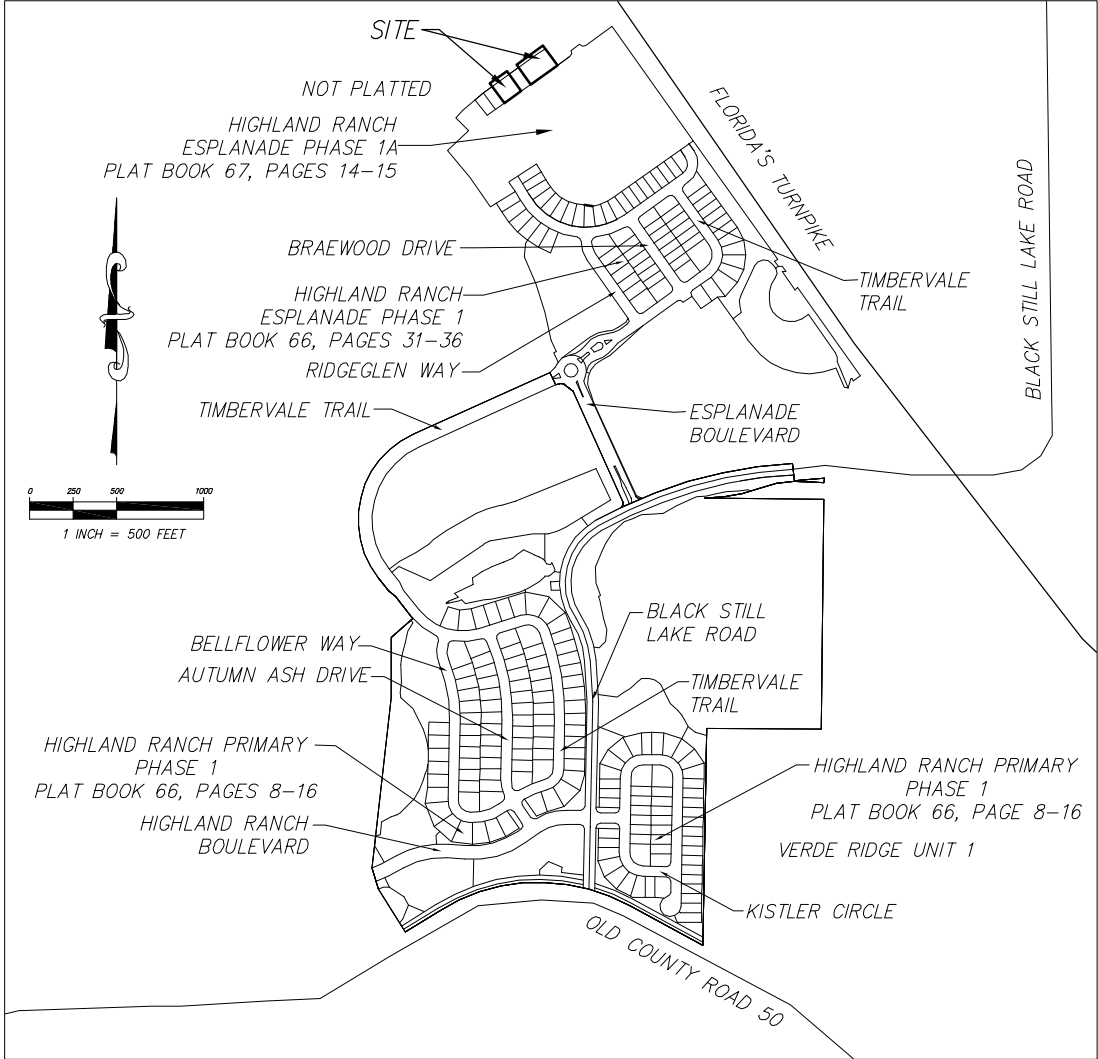
CITY OF CLERMONT

AGENDA ITEM

Page 1 of 1

Meeting Date			
Tuesday, July 12, 2016			
Agenda Item Name			
Plat Approval <i>Esplanade Phase 1 A Replat</i>			
Requested Action			
Recommend approval of the replat.			
Staff Report			
The plat has been reviewed and approved by the City Engineer and Contracting Engineer.			
Additional Analysis			
Fiscal Impact Summary			
Fiscal Impact	Fund Number and Description	Available Budget Amount	
Exhibits Attached (copies of original agreements)			
1. Plat Final Highland Ranch Esplanade Phase 1A_replat_11x17.pdf			

Drawing name: S:\Book Files\Taylor Morrison_09252025_Plotting\05064519 Plotting\Depicts Highland Ranch Esplanade Phase 1A, replat, surrounding Sheet 1 - Jun 30, 2016 1:35pm by mphilips



VICINITY MAP
1" = 500'

LEGAL DESCRIPTION:

ALL OF LOTS 109 AND 110, HIGHLAND RANCH ESPLANADE PHASE 1A, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 67, PAGES 14 THROUGH 15, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA AND A PORTION OF SECTION 9, TOWNSHIP 22 SOUTH, RANGE 26 EAST, CITY OF CLERMONT, LAKE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE MOST EASTERLY CORNER OF LOT 108 OF SAID HIGHLAND RANCH ESPLANADE PHASE 1A; THENCE N35°27'31" W ALONG THE NORTHEASTERLY LINE OF SAID LOT 108 AND ITS NORTHWESTERLY EXTENSION, A DISTANCE OF 140.00 FEET; THENCE RUN N54°32'29" E, A DISTANCE OF 120.00 FEET; THENCE S35°27'31" E ALONG THE SOUTHWESTERLY LINE OF LOT 111 OF SAID HIGHLAND RANCH ESPLANADE PHASE 1A AND ITS NORTHWESTERLY EXTENSION, A DISTANCE OF 140.00 FEET TO THE MOST SOUTHERLY CORNER OF SAID LOT 111 AND THE NORTHWESTERLY RIGHT OF WAY OF ORANGE RIDGE ROAD (TRACT SS) A PRIVATE 60.00 FOOT WIDE RIGHT OF WAY AS SHOWN ON SAID PLAT OF HIGHLAND RANCH ESPLANADE PHASE 1A; THENCE RUN S54°32'29" W ALONG SAID RIGHT OF WAY, A DISTANCE OF 120.00 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH:

ALL OF LOTS 112 THROUGH 114, HIGHLAND RANCH ESPLANADE PHASE 1A, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 67, PAGES 14 THROUGH 15, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA AND A PORTION OF SECTION 9, TOWNSHIP 22 SOUTH, RANGE 26 EAST, CITY OF CLERMONT, LAKE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE MOST EASTERLY CORNER OF LOT 108 OF SAID HIGHLAND RANCH ESPLANADE PHASE 1A; SAID POINT LYING ON THE NORTHWESTERLY RIGHT OF WAY OF ORANGE RIDGE ROAD (TRACT SS) A PRIVATE 60.00 FOOT WIDE RIGHT OF WAY AS SHOWN ON SAID PLAT OF HIGHLAND RANCH ESPLANADE PHASE 1A; THENCE N54°32'29" E ALONG SAID RIGHT OF WAY, A DISTANCE OF 187.50 FEET TO THE MOST EASTERLY CORNER OF LOT 111 OF SAID HIGHLAND RANCH ESPLANADE PHASE 1A AND THE POINT OF BEGINNING; THENCE DEPARTING SAID RIGHT OF WAY, RUN N35°27'31" W, ALONG THE NORTHEASTERLY LINE OF SAID LOT 111 AND ITS NORTHWESTERLY EXTENSION, A DISTANCE OF 140.00 FEET; THENCE N54°32'29" E, A DISTANCE OF 187.50 FEET; THENCE S35°27'31" E, ALONG THE NORTHEASTERLY LINE OF SAID LOT 114 AND ITS NORTHWESTERLY EXTENSION, A DISTANCE OF 140.00 FEET TO THE MOST EASTERLY CORNER OF SAID LOT 114 AND THE AFORESAID NORTHWESTERLY RIGHT OF WAY OF ORANGE RIDGE ROAD; THENCE S54°32'29" W ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 187.50 FEET TO THE POINT OF BEGINNING.

CONTAINS: 43,050.00 SQUARE FEET OR 0.989 ACRES MORE OR LESS.



Dewberry

131 WEST KALEY STREET
ORLANDO, FLORIDA 32806
PHONE: 407.843.5120 FAX: 407.648.9104
WWW.DEWBERRY.COM
CERTIFICATE OF AUTHORIZATION NO. LB 8011

NOTICE

THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT.

THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

HIGHLAND RANCH ESPLANADE PHASE 1A REPLAT

BEING A REPLAT OF LOTS 109 THROUGH 110 AND LOTS 112 THROUGH 114, HIGHLAND RANCH ESPLANADE PHASE 1A AS RECORDED IN PLAT BOOK 67, PAGES 14 TO 15 PUBLIC RECORDS OF LAKE COUNTY, FLORIDA LOCATED IN SECTION 9, TOWNSHIP 22 SOUTH, RANGE 26 EAST, CITY OF CLERMONT, LAKE COUNTY, FLORIDA.

PLAT NOTES:

- HIGHLAND RANCH ESPLANADE PHASE 1A IS A COMMUNITY INTENDED FOR OCCUPANCY BY PERSONS AGE 55 AND OLDER.
- BEARINGS SHOWN HEREON ARE ASSUMED AND BASED ON THE EAST LINE OF THE SOUTHEAST 1/4 OF SECTION 9, TOWNSHIP 22 SOUTH, RANGE 26 EAST, AS BEING NORTH 00°17'18" EAST.
- ALL PLATTED UTILITY EASEMENTS SHALL PROVIDE THAT SUCH EASEMENTS SHALL ALSO BE EASEMENTS FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES; PROVIDED, HOWEVER, NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES SHALL INTERFERE WITH THE FACILITIES AND SERVICES OF AN ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. IN THE EVENT A CABLE TELEVISION COMPANY DAMAGES THE FACILITIES OF A PUBLIC UTILITY, IT SHALL BE SOLELY RESPONSIBLE FOR THE DAMAGES. THIS SECTION SHALL NOT APPLY TO THOSE PRIVATE EASEMENTS GRANTED TO OR OBTAINED BY A PARTICULAR ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION SHALL COMPLY WITH THE NATIONAL ELECTRICAL SAFETY CODE AS ADOPTED BY THE FLORIDA PUBLIC SERVICE COMMISSION.
- LOT CORNERS WILL BE SET IN ACCORDANCE WITH CHAPTER 177.091 (9) FLORIDA STATUTES AND THE CITY OF CLERMONT LAND DEVELOPMENT REGULATIONS.
- ALL LOT LINES ALONG CURVES ARE RADIAL UNLESS NOTED OTHERWISE. NON-RADIAL LINES ARE NOTED BY (NR).
- STATE PLANE COORDINATES SHOWN HEREON AND THEIR COMPUTED VALUES SHALL BE SUBORDINATED TO THE MONUMENTS, BEARINGS AND DISTANCES SHOWN ON THIS PLAT.
- ALL LOTS HAVE A 10 FOOT DRAINAGE AND UTILITY EASEMENT ACROSS THE FRONT AND A 5 FOOT DRAINAGE AND UTILITY EASEMENT ACROSS THE SIDES AND THE REAR UNLESS NOTED OTHERWISE.
- THE LANDS AS SHOWN ON THIS PLAT ARE SUBJECT TO A PERPETUAL UTILITY BLANKET TYPE EASEMENT IN FAVOR OF SUMTER ELECTRIC COOPERATIVE, RECORDED IN OFFICIAL RECORDS BOOK 4537, PAGES 2092-2094 OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.

SHEET INDEX

SHEET 1	COVER SHEET, LEGAL DESCRIPTION, NOTES, VICINITY MAP
SHEET 2	PLAT DETAILS

LEGEND AND ABBREVIATIONS:

ID IDENTIFICATION	PI POINT OF INTERSECTION
ORB OFFICIAL RECORD BOOK	L LENGTH
CCR CERTIFIED CORNER RECORD	R RADIUS
DUE DRAINAGE AND UTILITY EASEMENT	Δ DELTA
Q CENTERLINE	CB CHORD BEARING
□ FOUND 4x4 CONCRETE MONUMENT (AS NOTED)	CH CHORD DISTANCE
PERMANENT REFERENCE MARKER	PNT POINT OF NON-TANGENCY
■ SET 4"x4" CONCRETE MONUMENT (PRM LB 8011)	PC POINT OF CURVATURE
PERMANENT REFERENCE MARKER	PRC POINT OF REVERSE CURVATURE
● SET NAIL & DISK (PPD LB 8011)	PT POINT OF TANGENCY
PERMANENT CONTROL POINT	RP RADIUS POINT
+ CHANGE IN DIRECTION (R/W LINE)	R/W RIGHT OF WAY
DE DRAINAGE EASEMENT	(NR) NON RADIAL
DWE DRAINAGE & WALL EASEMENT	CM CONCRETE MONUMENT
FND FOUND	LB LICENSED BUSINESS
(TYP) TYPICAL	LS LAND SURVEYOR

CERTIFICATE OF CLERK OF THE COURT

I, CLERK OF CIRCUIT COURT OF LAKE COUNTY, FLORIDA, DO HEREBY CERTIFY THAT I HAVE EXAMINED THE FOREGOING PLAT HIGHLAND RANCH PRIMARY PHASE 1 SUBDIVISION AND THAT IT COMPLIES WITH ALL THE REQUIREMENTS OF LAWS FLA. CH. 177. THIS PLAT FILED FOR RECORD THIS _____ DAY OF _____, 2016, AND RECORDED PAGE _____ OF PLAT BOOK _____ IN THE OFFICE OF THE CLERK OF CIRCUIT COURT OF LAKE COUNTY, FLORIDA.

CLERK OF THE CIRCUIT COURT, LAKE COUNTY, FLORIDA

PLAT BOOK: PAGE:

HIGHLAND RANCH
ESPLANADE PHASE 1A REPLAT
DEDICATION

KNOW ALL MEN BY THESE PRESENTS, THAT TAYLOR MORRISON OF FLORIDA, INC., A FLORIDA CORPORATION, BEING THE OWNER IN FEE SIMPLE OF THE LANDS DESCRIBED IN THE FOREGOING CAPTION TO THIS PLAT DO HEREBY DEDICATE THE FOLLOWING FOR THE USES AND PURPOSES THEREIN EXPRESSED, SUBJECT TO THE PLAT NOTES CONTAINED HEREIN.

IN WITNESS WHEREOF, THE OWNER HAS CAUSED THESE PRESENTS TO BE SIGNED BY THE OFFICER NAMED BELOW ITS CORPORATE SEAL TO BE AFFIXED HERETO ON _____, A.D. 2016.

TAYLOR MORRISON OF FLORIDA, INC., A FLORIDA CORPORATION

NAME: CHRIS TYREE

SIGNED: _____ (CORPORATE SEAL)
TITLE: VICE PRESIDENT

SIGNED AND SEALED IN THE PRESENCE OF:

WITNESS SIGNATURE PRINTED NAME

WITNESS SIGNATURE PRINTED NAME

STATE OF FLORIDA, COUNTY OF _____

THIS IS TO CERTIFY, THAT ON _____, 2016, BEFORE ME, AN OFFICER DULY AUTHORIZED TO TAKE ACKNOWLEDGEMENTS IN THE STATE AND COUNTY AFORESAID, PERSONALLY APPEARED CHRIS TYREE, AS VICE PRESIDENT OF TAYLOR MORRISON OF FLORIDA, INC., A FLORIDA CORPORATION, ON BEHALF OF THE COMPANY. HE IS PERSONALLY KNOWN BY ME OR PRODUCED _____ AS IDENTIFICATION AND DID/DID NOT TAKE AN OATH THAT HE IS THE PERSON DESCRIBED IN AND WHO EXECUTED THE FOREGOING DEDICATION AND SEVERALLY ACKNOWLEDGES THE EXECUTION THEREOF TO BE HIS FREE ACT AND DEED AS SUCH OFFICER THERE TO DULY AUTHORIZED; THAT THE OFFICIAL SEAL OF SAID CORPORATION IS AFFIXED HERETO; AND THAT SAID DEDICATION IS THE ACT AND DEED OF SAID CORPORATION.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND SEAL ON THE ABOVE DATE.

NOTARY PRINTED NAME

SIGNATURE OF NOTARY MY COMMISSION EXPIRES

CERTIFICATE OF APPROVAL OF MUNICIPALITY

THIS IS TO CERTIFY, THAT THIS PLAT WAS REVIEWED IN ACCORDANCE WITH SECTION 177.081, FLORIDA STATUTES AND PRESENTED TO THE CITY OF CLERMONT, LAKE COUNTY, FLORIDA AND APPROVED BY SAID CITY COUNCIL OF CLERMONT FOR RECORD ON THE _____ DAY OF _____, 2016 PROVIDED THAT THIS PLAT IS RECORDED IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT OF LAKE COUNTY, FLORIDA WITHIN _____

ATTEST: CITY OF CLERMONT

CITY CLERK MAYOR

PRINT NAME PRINT NAME

CERTIFICATE OF SURVEYOR

KNOWN ALL MEN BY THESE PRESENTS, THAT THE UNDERSIGNED, BEING A REGISTERED SURVEYOR AND MAPPER, FULLY LICENSED TO PRACTICE IN THE STATE OF FLORIDA, DOES HEREBY CERTIFY THAT THIS PLAT WAS PREPARED UNDER HIS DIRECTION AND SUPERVISION, AND THAT THIS PLAT COMPLIES WITH ALL THE REQUIREMENTS OF SECTION 177, FLORIDA STATUTES.

DEWBERRY - 131 WEST KALEY STREET
ORLANDO, FLORIDA 32806 LICENSED BUSINESS NO. 8011

_____, DATED _____

WILLIAM D. DONLEY
FLORIDA LICENSED SURVEYOR AND MAPPER NO. LS 5381

REVIEWER STATEMENT

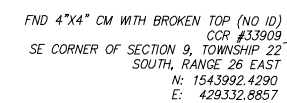
PURSUANT TO SECTION 177.081, FLORIDA STATUTES, I HAVE REVIEWED THIS PLAT FOR CONFORMITY TO CHAPTER 177, PART 1, FLORIDA STATUTES, AND FIND THAT SAID PLAT COMPLIES WITH THE TECHNICAL REQUIREMENTS OF THAT CHAPTER; PROVIDED, HOWEVER, THAT MY REVIEW DOES NOT INCLUDE FIELD VERIFICATION OF ANY OF THE COORDINATES, POINTS OR MEASUREMENTS SHOWN ON THIS PLAT. BOOTH, ERN, STRAUGHAN AND HIOIT, INC.
902 NORTH SINCLAIR AVENUE, TAVARES, FL 32778 (352) 343-8481
LICENSE BUSINESS NO. 7514

FOR THE FIRM: _____ DATE _____

JENNINGS E. GRIFFIN
PROFESSIONAL LAND SURVEYOR NO. 4486

PLAT	
BOOK:	PAGE:

ID	IDENTIFICATION	PG(S)	PAGE(S)
ORR	OFFICIAL RECORD BOOK	PI	POINT OF INTERSECTION
CCR	CERTIFIED CORNER RECORD	L	LENGTH
DUE	DRAINAGE AND UTILITY EASEMENT	R	RADIUS
Q	QUANTILE	B	BEARING
Q	QUANTILE	CB	CHORD BEARING
Q	QUANTILE	CD	CHORD DISTANCE
Q	QUANTILE	PNT	POINT OF NON-TANGENCY
Q	QUANTILE	PC	POINT OF CURVATURE
Q	QUANTILE	PR	POINT OF REVERSE CURVATURE
Q	QUANTILE	PT	POINT OF TANGENCY
Q	QUANTILE	RP	RADIUS POINT
Q	QUANTILE	R/W	RIGHT OF WAY
Q	QUANTILE	(NR)	NON RADIAL
Q	QUANTILE	CM	CORNER MONUMENT
Q	QUANTILE	LB	LICENSED BUSINESS
Q	QUANTILE	LS	LAND SURVEYOR
Q	QUANTILE		LINE BREAK



SHEET INDEX	
SHEET 1	COVER SHEET, NOTES, LEGAL DESCRIPTION, VICINITY MAP
SHEET 2	PLAT DETAILS

SHEET 2 OF 2



Drawing name: S:\Block West\Taylor Morrison_99253009_Plotting_50064519\Plotting\Replats\Highland Ranch Esplanade Phase 1A_replat_surplat.dwg Sheet 2 Jun 30, 2016 1:36pm by: mphilips

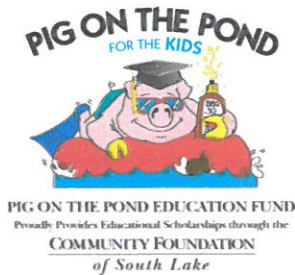


CITY OF CLERMONT

AGENDA ITEM

Page 1 of 1

Meeting Date		
Tuesday, July 12, 2016		
Agenda Item Name		
Event and Open Container Request <i>Pig On The Pond</i>		
Requested Action		
Recommend approval of Pig On The Pond event request.		
Staff Report		
This is a request from Pig On The Pond to the City of Clermont to approve the event on March 3, 4, and 5, 2017 at Waterfront Park. Pig on the Pond, Inc. has requested that open containers be permitted at Waterfront Park in the approved Beverage Area (see map for details). Pig on the Pond has agreed to hire the appropriate number of off duty Clermont Police Officers for the alcohol area as required by the Clermont Police Department. The organization is also requesting a section of the trail be closed as indicated on the map during the course of their event (March 3, 4, and 5, 2017). Detour signs will be put up for patrons wishing to use the trail during the closure time. The organization also requests fee waivers for the use of Waterfront Park from February 27 through March 6, as well as all tent fees be waived. Please see attached detail form outlining the tents. Waterfront Park Grounds Fees (February 27 through March 6, 2017) - \$7,000 Tent Permits - \$109 per tent The organization would also like to request to have signage placed within the City limits. Please see attached form which details size, location, installation and removal dates.		
Additional Analysis		
Fiscal Impact Summary		
Fiscal Impact	Fund Number and Description	Available Budget Amount
Exhibits Attached (copies of original agreements)		
1. Pig on the Pond Council Packet 2017		Pig on the Pond Council Packet.pdf



Pig on the Pond, Inc.
PO Box 121543 Clermont, FL 34712
Phone: 407-625-3818 Fax: 407-982-7218
Email: info@pigonthepond.org
www.pigonthepond.org

June 16, 2016

Mr. Darren Gray
Clermont City Manager
P.O. Box 120219
Clermont, FL 34712

Dear Darren;

We greatly appreciate the generous cooperation of the City of Clermont in making Pig on the Pond a success. **Without your support, our event would not be possible.**

Pig on the Pond, Inc. would like to request to be put on the City Council agenda to gain permission for the use of the Waterfront Park, along with the highlander hut and pavilion. We are also requesting permission to use the parking area formerly owned by Bell Ceramics and permission to close the trail for the 19th Annual Event scheduled for March 3rd, 4th & 5th, 2017.

We would like the City to again provide us with Police Officers for the event and Clermont Fire Department to be on-site. In the past, the City has provided barricades for city streets, and public works employees to assist with set up and clean up along with garbage collection. Pig on the Pond would like to offer the City of Clermont a Presenting sponsorship packet for \$30,000 in trade of an in-kind sponsorship for all the fee being waived. Please see the attached benefits packet.

All proceeds from this event go to scholarships and educational programs benefiting residents in the South Lake County community.

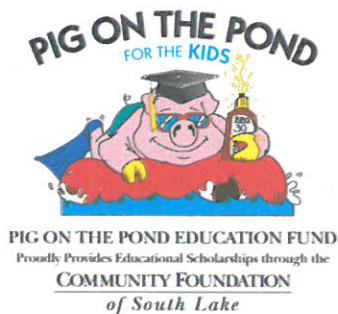
Thank you for your assistance in this matter. If you have questions, please feel free to contact me 407-625-3818. Representatives of Pig on the Pond, Inc. will be in attendance at the council meeting to answer any questions.

Sincerely,


Cheryl Fishel
Event Manager

Mission Statement

Provide scholarships and educational support to our local students positioning them to lead successful and impactful lives in their chosen communities.



19th Annual Pig on the Pond Partnership Package

Presenting Partner

As a Presenting Partner of Pig on the Pond the City of Clermont, along with News 13 will be provided with an extensive list of benefits designed to serve as a platform to achieve your marketing and communications objectives. An overview of the rights you can receive is outlined below and other promotional ideas can be developed for this list.

Extensive On-site Presence

Prime Booth Space for Exhibits or Sales - 30'x30' includes Tent, Tables and Chairs

Advertising - ALL ADVERTISING WILL LIST YOU AS PRESENTING PARTNER. YOUR LOGO WILL BE ON THE TOP AND LARGER THEN OTHER PARTNERS OF THE EVENT.

Logo on front cover of the event program – distribution 40,000

Logo on event commercial

½ ad in the event program

Logo on all event ads

Logo on home page - www.pigonthepond.org. Link to your website

Signage

Logo on all event signs and banners

Primary Signage on the event pavilion and event sitting tents (Sponsor to supply a maximum 8' Banners)

Banner presence on event barricades

Event Tickets

80 Entry Tickets

20 Meal Tickets

20 Carnival Passes



APPLICATION FOR SPECIAL EVENTS PERMIT

PLEASE TYPE OR PRINT CLEARLY:

TODAY'S DATE: June 16, 2016

Name of Event: Pig on the Pond

Name of Organization: Project Scholars, Inc.

Organization Address: P.O. Box 121543 Clermont, FL 34712

Authorized Representative/Applicant: Cheryl Fisher

Cell Phone #: 407-625-3818 Work Phone #: 407-625-3818

Email Address: Pigonthepond@earthlink.net

Secondary Contact Person: Tom English, Chair

Cell Phone #: 352-267-6780 Work Phone #: 352-267-6780

Description of the Event: Community event to raise funds for scholarship and education

Expected Number of Attendees: 30,000

Event Start Date: 3/3/17 Initial Setup Start Time: 2/27/17 8:00 am ☒ pm ☐

Event Start Time: 3/3/17 ^{5:00} am ☐ pm ☒ Event End Date: 3/5/17 - 6:00 pm

Event End Time: 6:00 am ☐ pm ☒ Breakdown End Time: 3/6/17 ^{5:00} am ☐ pm ☒

Location of Event:

(Please choose A, B, C, or D on MAP 1 or MAP 2): A ☒ B ☒ C ☒ D ☐ Map 1 ☒ Map 2 ☐

Other Location: _____

QUESTIONNAIRE – (please fill out and return with application)

Alcohol Served: Yes ☒ No ☐

If Yes, State Alcoholic Beverage License REQUIRED for sale for alcoholic beverages 1-800-375-6975 and approval from the City of Clermont City Manager and Council.

Canopy/Tent Use: Yes ☒ No ☐

If Yes, subject to permits as required by the Building/Fire Safety Division.

Electrical Use: Yes ☒ No ☐

If Yes, subject to permits as required by the Building/Fire Safety Division.

Electrical Power Provided with: Generator ☒ Temporary Power Drop ☐ Property Power ☒

Gas Fueled Equipment: Yes ☒ No ☐

- Fuel Sources: Propane gas ☐ Natural gas ☐ Diesel Fuel ☒ Gasoline ☒

Cooking Equipment Use: Yes ☒ No ☐

If Yes, subject to approvals as required by the Florida DBPR, Division of Hotels and Restaurants. Contact number 1-850-487-1395.

- Types: Fryers ☒ Propane Grills ☒ Charcoal Grills ☐ Concession Trailer ☒ Food Trucks ☒

Rides: Yes ☒ No ☐

If Yes, may require State inspection 1-850-488-9790.

- Type: Mechanical ☒ Bounce Houses ☐ Animals ☐

Pyrotechnic/Fireworks Displays: Yes ☒ No ☐

If Yes, requires separate approval process completed by Company with the Fire Prevention Division. (The release of Sky Lanterns is not permitted under state law.)

Streets to be Closed or Traffic Control: Yes ☒ No ☐

If Yes, requires separate approval process completed by applicant with the City of Clermont City Manager and Council and must be indicated on site plan.

Fire or Law Enforcement Stand-by Requested: Yes ☒ No ☐

If Yes, requires separate approval process completed by applicant with the Clermont Police Department and Clermont Fire Department. (Law enforcement or fire/ems stand-by may be required by the City for certain events/activities and at the applicant's cost.)

Live Television or Radio Broadcast: Yes ☒ No ☐

Band, Music or Sound Amplification Devices: Yes ☒ No ☐

If loud sounds are created that require a permit under the City Noise Ordinance, a letter requesting a permit for such activity must accompany this permit application.

Temporary Water or Sewer Connections Requested: Yes ☒ No ☐

If Yes, requires separate approval process completed by the applicant with the Public Works Department.

Banners or Attention Getting Devices: Yes ☒ No ☐

If Yes, Attention Getting Devices and Banners require a separate permit with the Building/Fire Safety Division. Temporary signage is not permitted in right-of-ways.

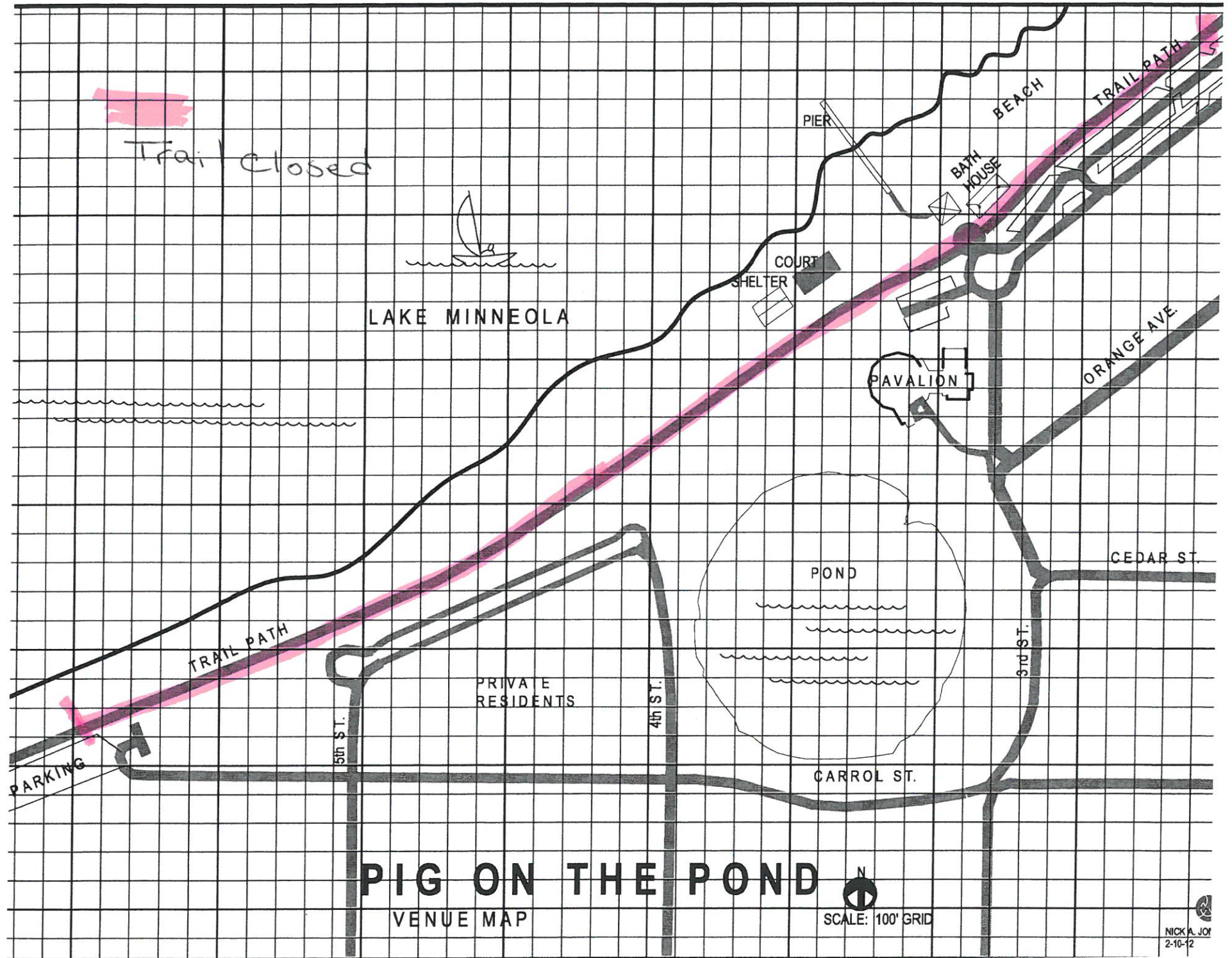


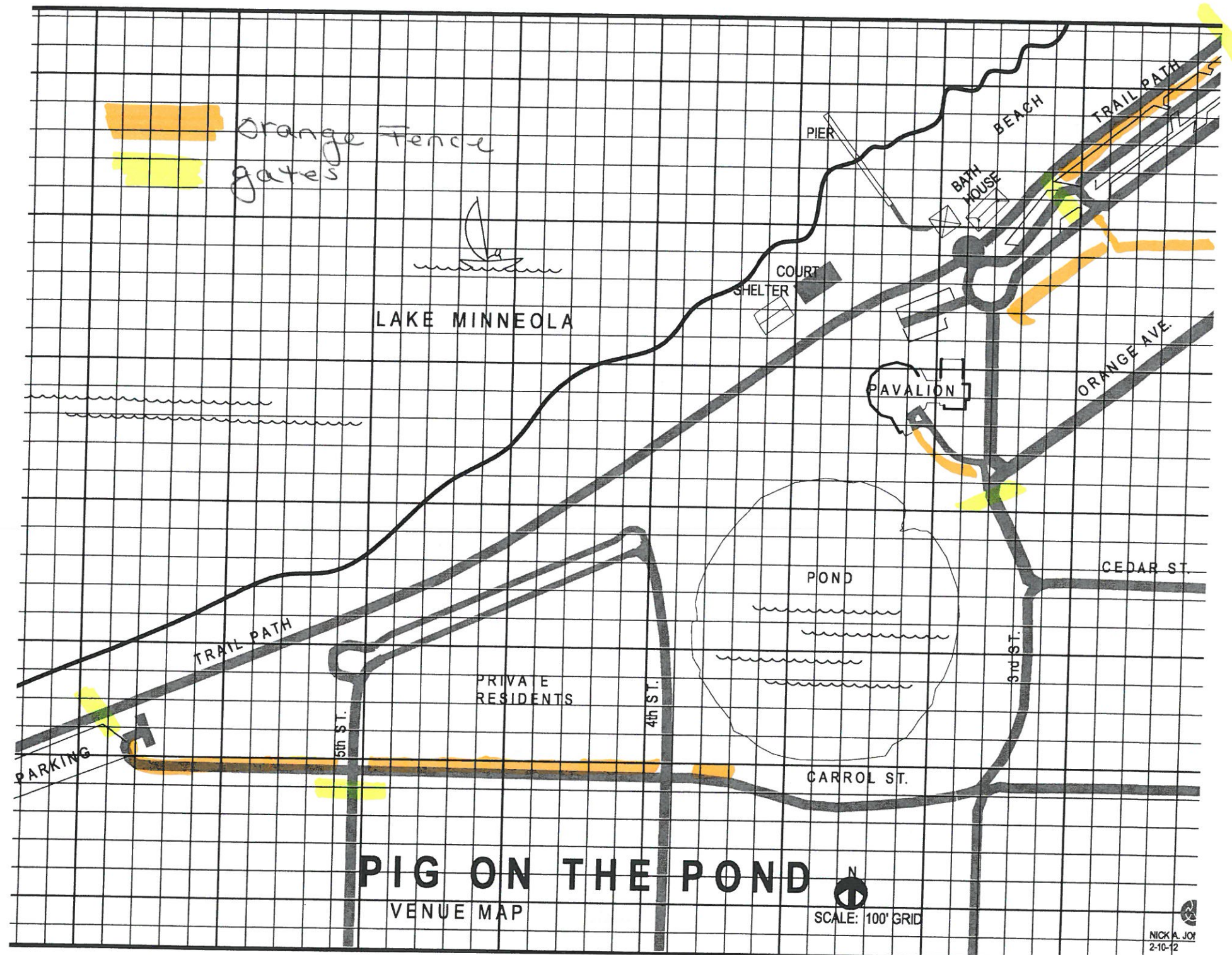
SPONSORS

- | | |
|---|---|
| 1- Regal Nautique of Orlando/Performance Ski & Surf | 15- DRINK STATION |
| 2- Ford Of Clermont | 16- Ritter's Frozen Custard |
| 3- Beef O' Brady's, City Beverages & Beer Area | 17- Fields Equipment |
| 4- City of Clermont - Parks & Recreation | 18- Celebrate Recovery-FUMC |
| 5- City of Clermont - Environmental Services | 19- Humana MarketPOINT |
| 6- Phoenix Marketing | 20- McCoy Federal Credit Union |
| 7- Overhead Films | 21- Horse with a Mission Sponsored by Boykin Construction |
| 8- First GREEN Bank | 22- Water Equipment Technologies |
| 9- Cary Rada - For Lake County Judge | 23- SeaBreeze Aluminum Products |
| 10- Gold's Gym Clermont | 24- Golfstream Children's Dentistry |
| 11- Lake Apopka Natural Gas | 25- University of Central Florida & Lake-Sumter State College |
| 12- Open Door Baptist Church | 26- Office Depot - Office Max |
| 13- Insight Credit Union | 27- A Pawn USA |
| 14- Daily Commercial & South Lake Press | 28- Lake County Sheriff's Office |
| | 29- Wells Fargo Bank |

VENDORS

- | | | |
|---|--|---|
| 30- South Lake Sluggers | 44- Lake County Health | 57- Clermont Roofing |
| 31- Caribbean American Association of Lake County | 45- City of Clermont - Public Works | 58- SEATING TENT |
| 32- East Ridge High School Band Boosters | 46- Clermont Youth Football & Cheerleading | 59- BEER AREA |
| 33- Boy Scouts Troop 1848 | 47- SEATING TENT | 60- Beef O' Brady's |
| 34- Boy Scouts Troop 784 | 48- All Care Animal Hospital | 61- Twistee Treat |
| 35- Boy Scouts Pack 20/Troop 20 | 49- Graphics Direct | 62- Clermont Fire Dept. Emergency Booth |
| 36- V & J Kettle Corn | 50- Mainstreet Community Bank | 63- WATER & SODA STATION |
| 37- East Ridge Youth Sports | 51- Napleton Clermont | 64- Clermont Fire Dept. Burn DEMO |
| 38- Special Olympics Florida | 52- The Life Center, Dr. Paul Sorchy | 65-69 BBQ Vendor |
| 39- Racing Pigs | 53- BBQ Vendor | 70- Kona Ice |
| 40- Modern Orthodontics | 54- Over The Top Pita | 71- Argos Ready Mix, LLC |
| 41- Clermont Pediatric Dentistry | 55- STEAMFIT | 72- Donut King |
| 42- Sprint | 56- NEWS 13 and Bright House Networks | 73- BBQ Vendor |
| 43- Lake County Rowing Association | | 74- SEATING TENT |
| | | 75- WATER & SODA STATION |







Pig on the Pond, Inc.
PO Box 121543 Clermont, FL 34712
Phone: 352-516-5897 Fax: 407-982-7218
Email: info@pigonthepond.org
www.pigonthepond.org

June 16, 2016

Mr. Darren Gray
Clermont City Manager
PO Box 120219
Clermont, FL 34712

Re: Pig on the Pond Signage Permits

Dear Darren,

The following are the locations and the dates for the Pig on the Pond event signs for the City of Clermont Permits.

February 3, 2017

Event Signs 4'X 4' Verbiage – Pig on the Pond – March 3rd, 4th & 5th – Waterfront Park, Clermont –
www.pigonthepond.org with sponsor logos

- 1 NE Corner of Steve's Road and Citrus Tower
- 1 SE Corner of Steve's Road and Citrus Tower
- 1 Hwy 50 & Cut Road at Clermont Water Tower
- 2 Hwy 50 and 8th Street
- 1 Hwy 50 past 12th Street East – TBD
- 1 Hwy 50 past 12th Street West – TBD

March 2, 2017

Event Parking Signs 8th Street – Church
4' x 8' Corner of East and Pitt, Clermont Middle School
2 - Hwy 27 north and south by the citrus tower

March 3 - 5, 2017

Event Signage Starting from Hwy 50, Turnpike to Hwy 50 12th Street, every ½ mile
Directional 1 mile north and South on Hwy 27 from the intersection of Hwy 50 and
18" x 24" Hwy 27 - Shuttle signs in Downtown Clermont

February 17 – March 5, 2017

Police Electric Sign Pig on the Pond – March 11th, 12th & 13th – Waterfront Park
Location TBD

All signs will be taken down on Monday, March 14, 2016 by 5:00 PM. Thank you for your assistance in this matter.
I look forward to working with you on this community event. If you have questions, please feel free to contact me
at (407) 625-3818.

Sincerely

Cheryl Fishel
Event Coordinator

To: City of Clermont

From: Cheryl Fishel, Event Manager
Pig on the Pond

Subject: Permits for the following tents

We are requesting the City of Clermont waive the Permit fees for the following tents to be used at Pig on the Pond on March 3rd, 4th and March 5th, 2017

Pig on the Pond Event – Rentals

1-40x40 tent

2-30x40 tents

1-10x40 tent

1-20x30 tent

2- 10x100 tent

4-30x30 tents

10-20x20 tents

5-10x20 tents

16-10x10 tents

Thank you for your consideration



CITY OF CLERMONT

AGENDA ITEM

Page 1 of 1

Meeting Date		
Tuesday, July 12, 2016		
Agenda Item Name		
Variance Request 953 5th Street		
Requested Action		
Recommend denial of the variance request.		
Staff Report		
The property owner at 953 5th Street is seeking a variance for a rear yard setback of 15 feet instead of 25 feet, as required by the Land Development Code, Section 122-186 The owner would like to reconstruct a portion of a two-family dwelling unit that burned down in November of last year. The Lake County Property Appraiser has both structures built in 1925. The current zoning, R-3 Residential/Professional District, permits two-family dwelling units. The structures were constructed prior to the Land Development Code and are legal nonconforming structures in regards to setbacks. The owner would like to reconstruct the building in the current location with minor changes. The previous structure was located 9 feet from the rear property line. The Land Development Code requires a 25 feet rear yard setback. The applicant is requesting a 15 feet rear yard setback to accommodate the new structure. Section 86-174 of the Land Development Code requires a positive finding on eight items in order to grant a variance, and staff believes that three of the eight do not meet these findings. Therefore, staff recommends denial of the variance request by the applicant to the Clermont Land Development Code.		
Additional Analysis		
Fiscal Impact Summary		
Fiscal Impact	Fund Number and Description	Available Budget Amount
Exhibits Attached (copies of original agreements)		
1. Map and Exhibits	Variance Location 953 5th ST.pdf	
2. Elevation	Elevations.pdf	
3. Site	Site Plan.pdf	
4. Application	Application.pdf	
5. Review Criteria	Review Criteria.docx	
6. Legal ad	VAR Legal AD 953 5th Street.docx	

953 5th Street - Variance



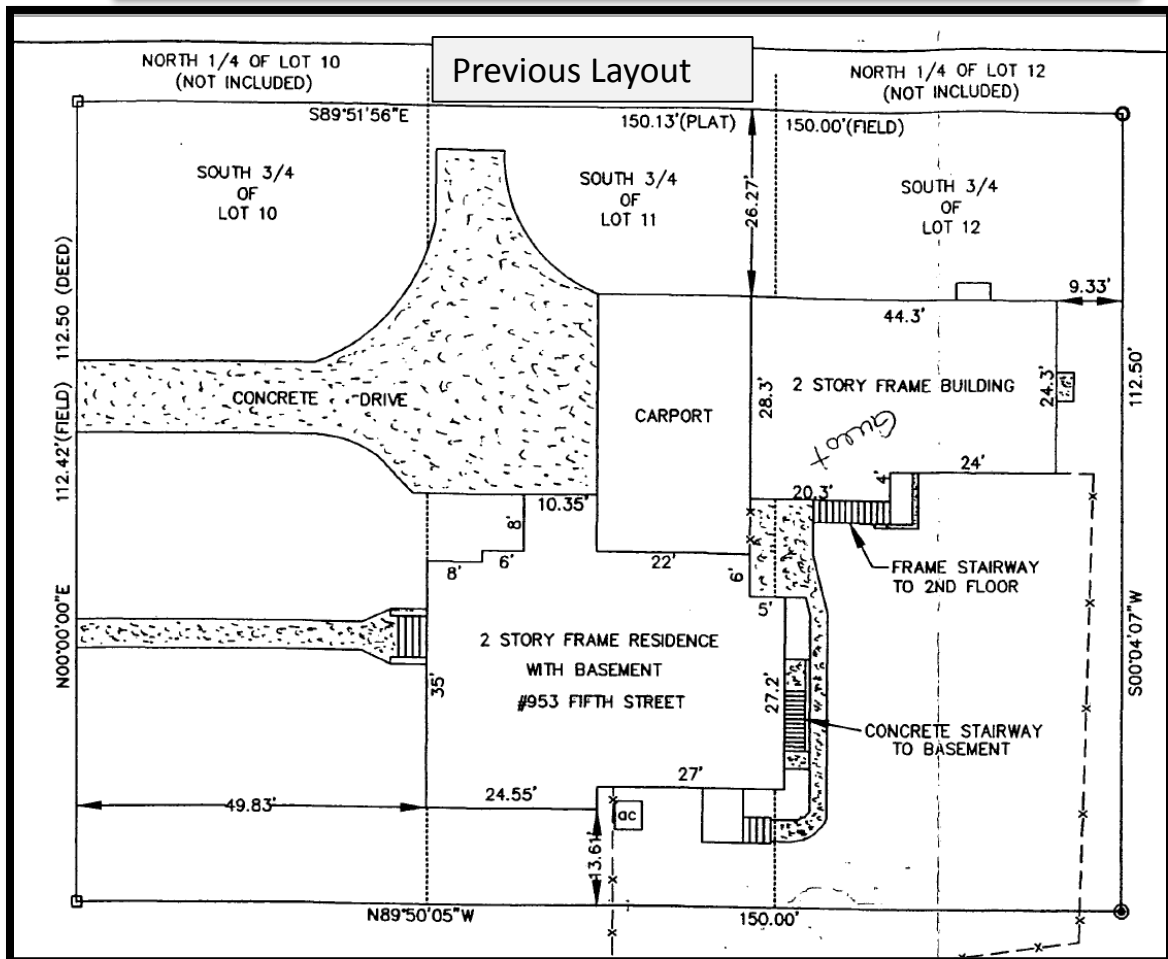
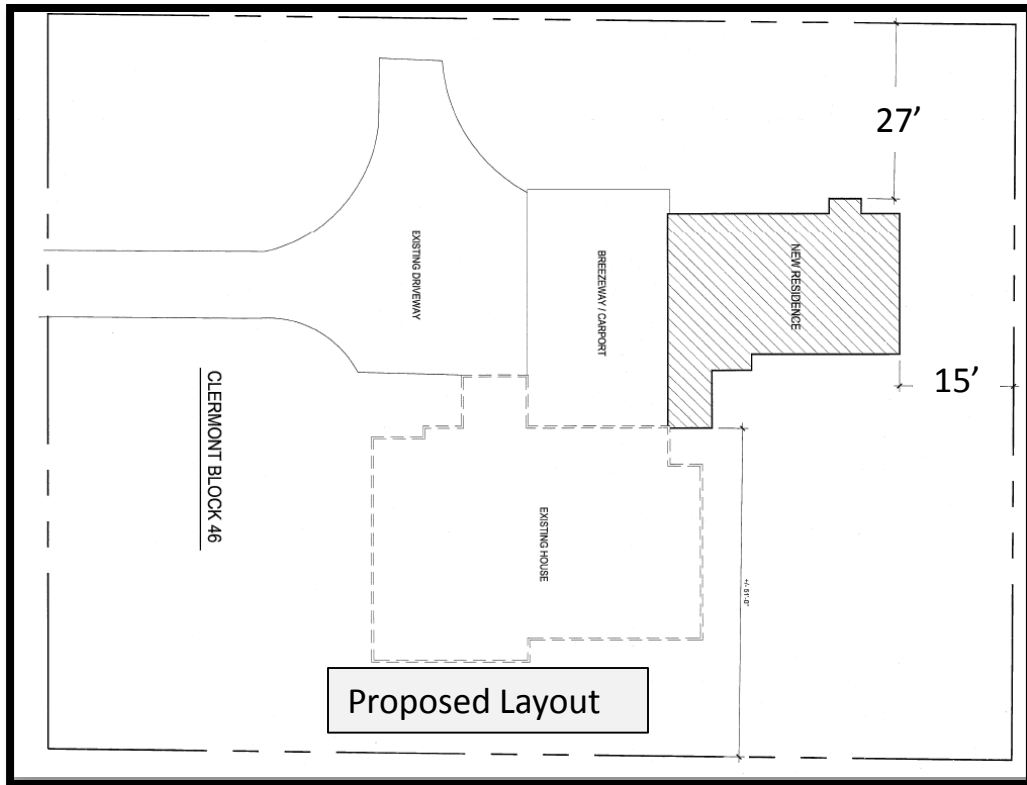
Variance:

1: to allow for a rear yard setback of 15 feet – rather than a 25 feet setback

953 5th Street - Variance



953 5th Street - Variance



FLASHING

WOODEN SIDING

SILL PLATE

WALL SHEATHING

SEE NOTE #2

NOTES:

1. FLASHING TO BE FLEXIBLE SELF-ADHESIVE TYPE (MIN. 6" WIDE)
2. REMOVE WEATHER RESISTIVE BARRIER FROM TOP OF WINDOW SILL PLATE
3. INSTALL SILL FLASHING AS SHOWN ABOVE
4. INSTALL FLASHING AROUND REMAINING WINDOW UNIT
5. WEATHER RESISTIVE BARRIER TO FORM WATER SHEEDING LIPS

Weep screens

2512 (12) Weep screens

A minimum 1/2 inch (12.7 mm) hole

26 galvanized steel plate

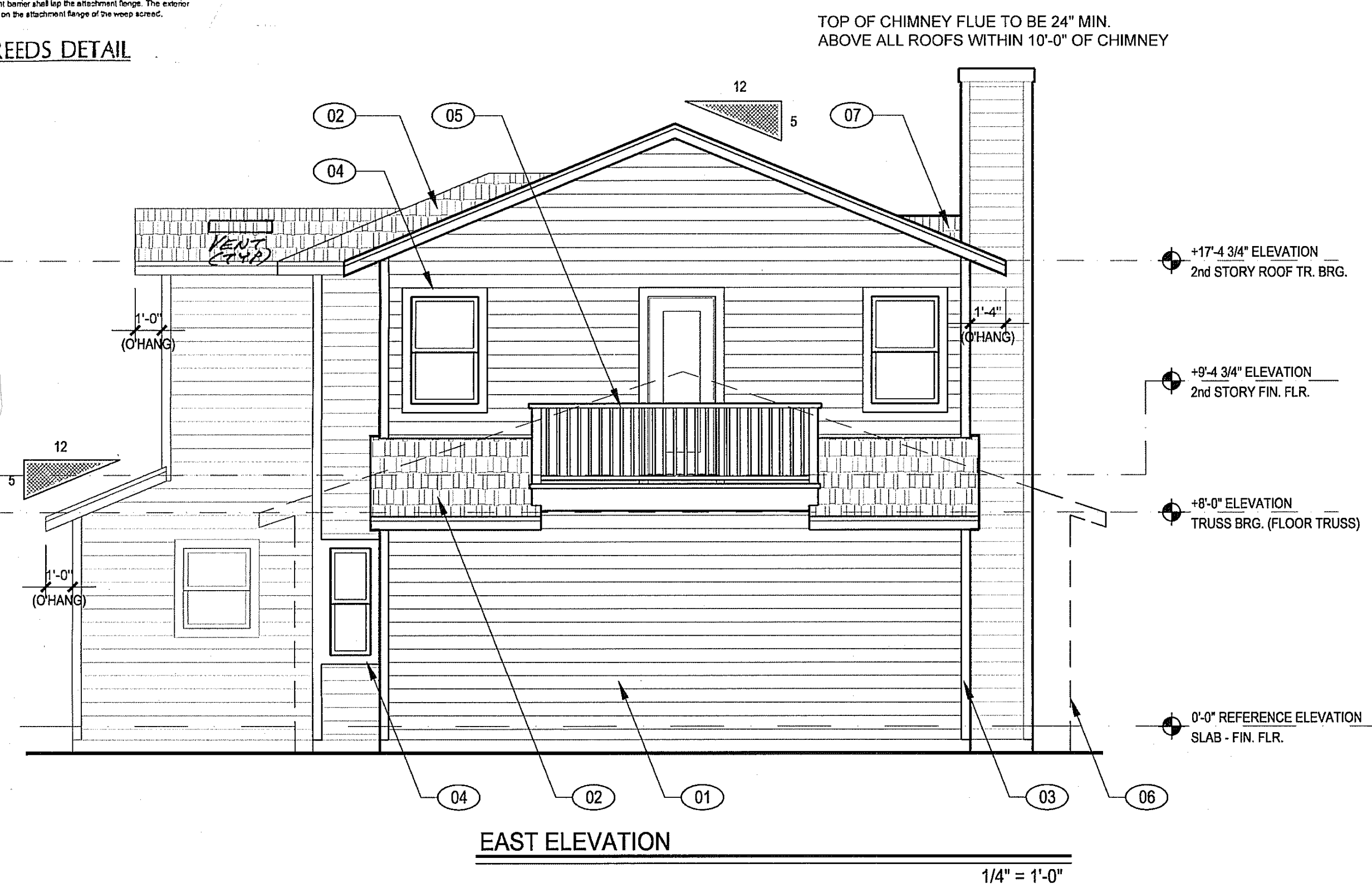
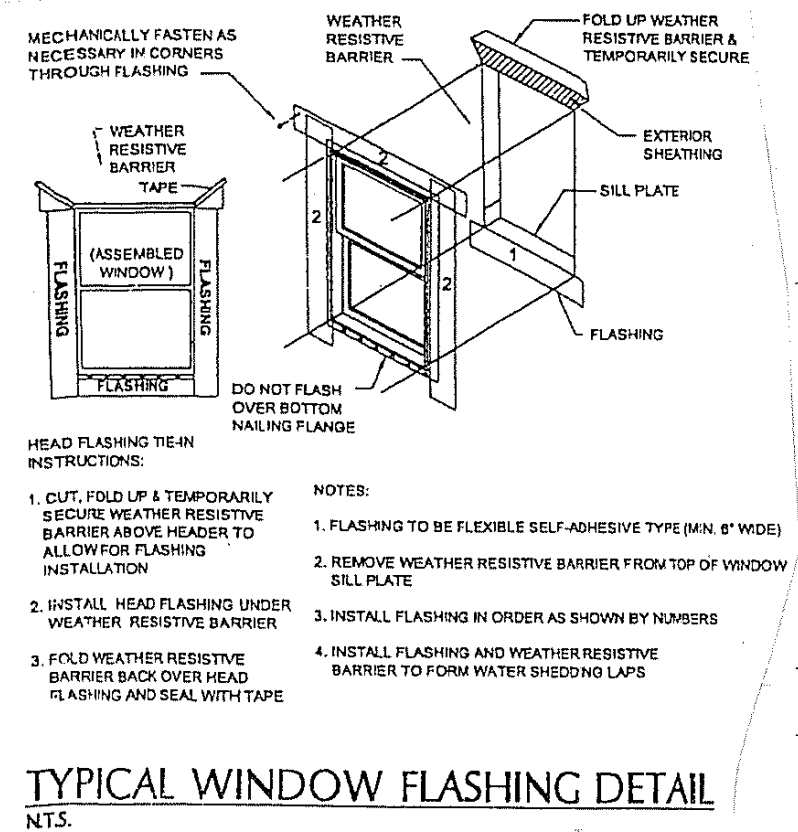
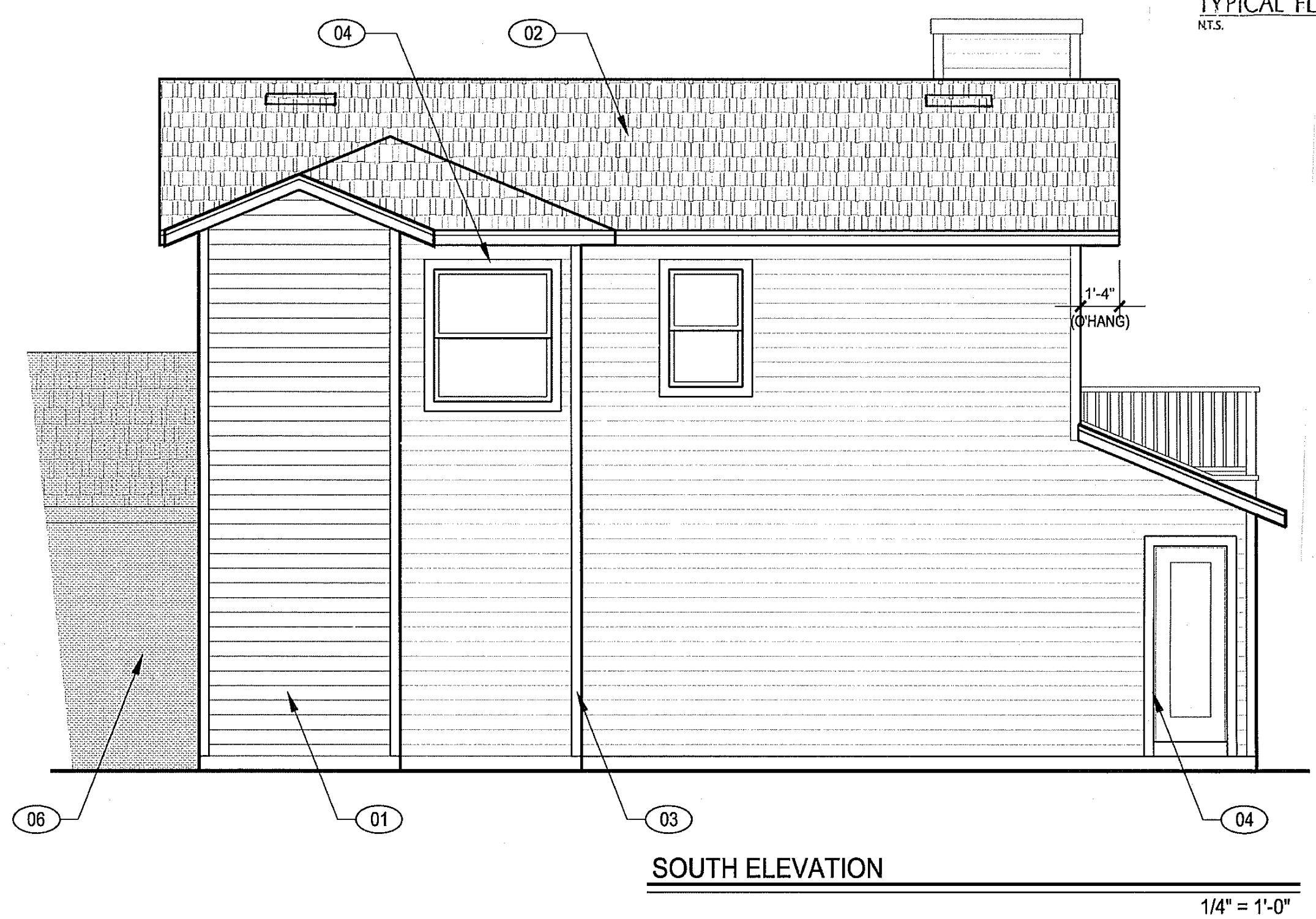
compart-resistant weep screen with a minimum vertical attachment length of 2X inches (50.8 mm) shall be provided at the bottom of the foundation plate line on exterior walls in accordance with ASTM C 926. The weep screen shall be placed a maximum of 4 inches (102 mm) from the earth or 2 inches (51 mm) above eaved areas and be of a type that will allow storm water to drain to the exterior of the building. The weath-resistant barrier shall lap the attachment flange. The exterior lath shall cover and laminate on the attachment flange of the weep screen.

NOTE: THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED THE WIND LOAD REQUIREMENTS OF THE 2014 BUILDING CODE RESIDENTIAL EDITION SECTION R301AND INCLUDING ASCE 7-10.

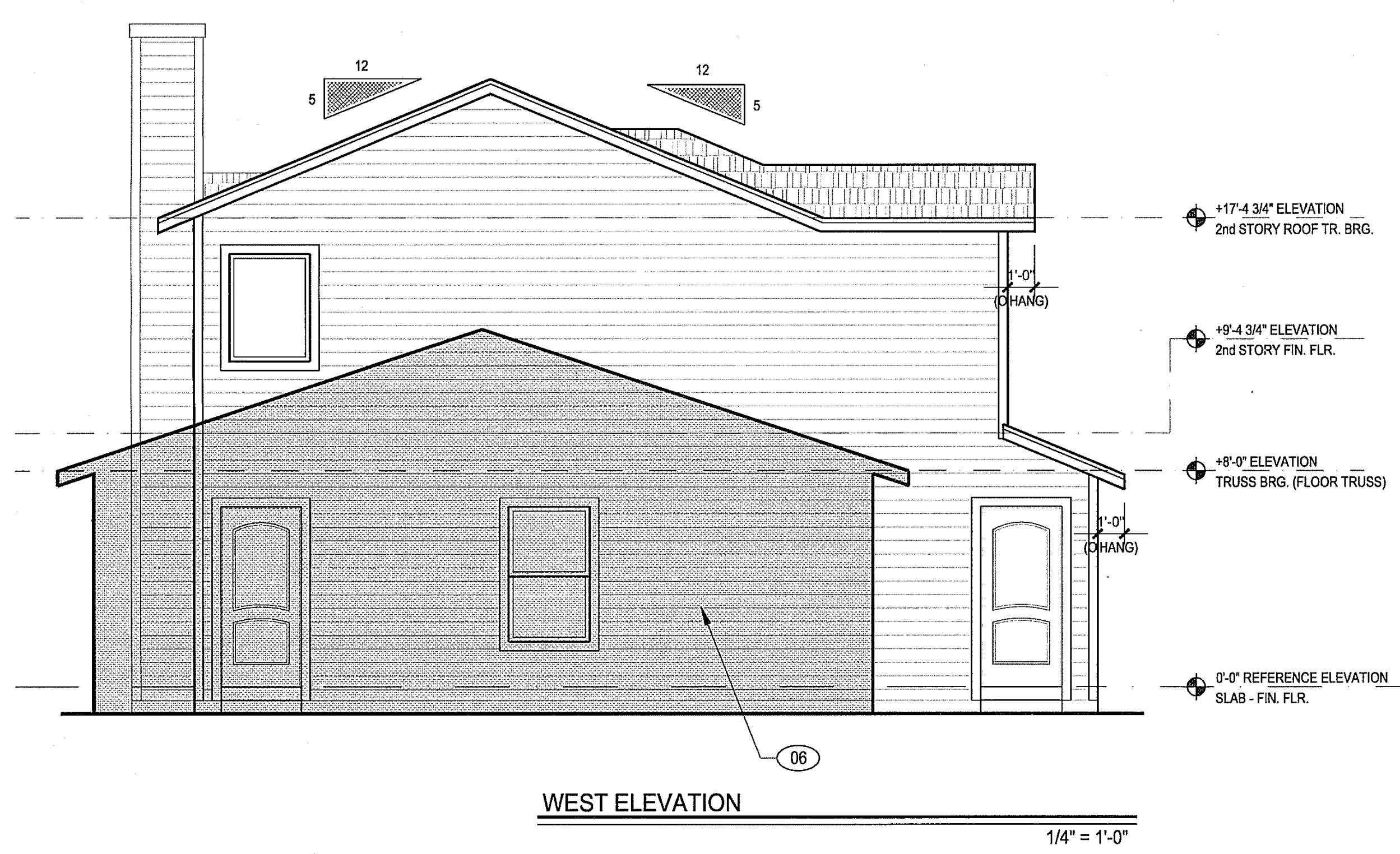
1. WIND SPEED = 139 MPH ULTIMATE WIND SPEED (Vult) AND 108 MPH (Vasd)
2. RISK CATEGORY 2
CONSTRUCTION TYPE = SINGLE FAMILY RESIDENTIAL.
3. WIND EXPOSURE = CATEGORY C
4. INTERNAL PRESSURE COEFFICIENT FOR ENCLOSED BUILDINGS IS .18 AND HEIGHT & EXPOSURE ADJUSTMENT COEFFICIENT IS 1.40

DURING CONSTRUCTION, IF IT IS DETERMINED THAT ANY ACTUAL CONDITIONS DIFFER FROM WHAT IS SHOWN ON PLANS, CONTRACTOR TO CONTACT ENGINEER FOR FURTHER REVIEW.

DURING CONSTRUCTION, IF IT IS DETERMINED THAT ANY ACTUAL
CONDITIONS DIFFER FROM WHAT IS SHOWN ON PLANS, CONTRACTOR
TO CONTACT ENGINEER FOR FURTHER REVIEW.



ELEVATION REFERENCE NOTES	
TAG	DESCRIPTION
01	VINYL LAP SIDING 'OVER HOUSEWRAP OVER 7/16" O.S.B.
02	ARCHITECTURAL GRADE SHINGLE ROOF
03	4" WIDE CORNERBOARD TRIM
04	4" WIDE DOOR / WINDOW TRIM
05	36" HIGH ABV. LOCAL FIN. FLR. GUARDRAIL W/ LESS THAN 4" OPENINGS
06	EXISTING BREEZEWAY / CARPORT
07	CRICKET

[illegible]

DANA'S DESIGN AND DRAFTING

**5810 WILLOW BUD CT.
ORLANDO, FLORIDA
407-553-2505**

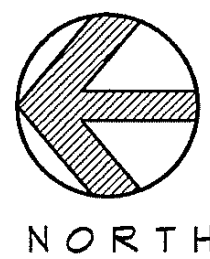
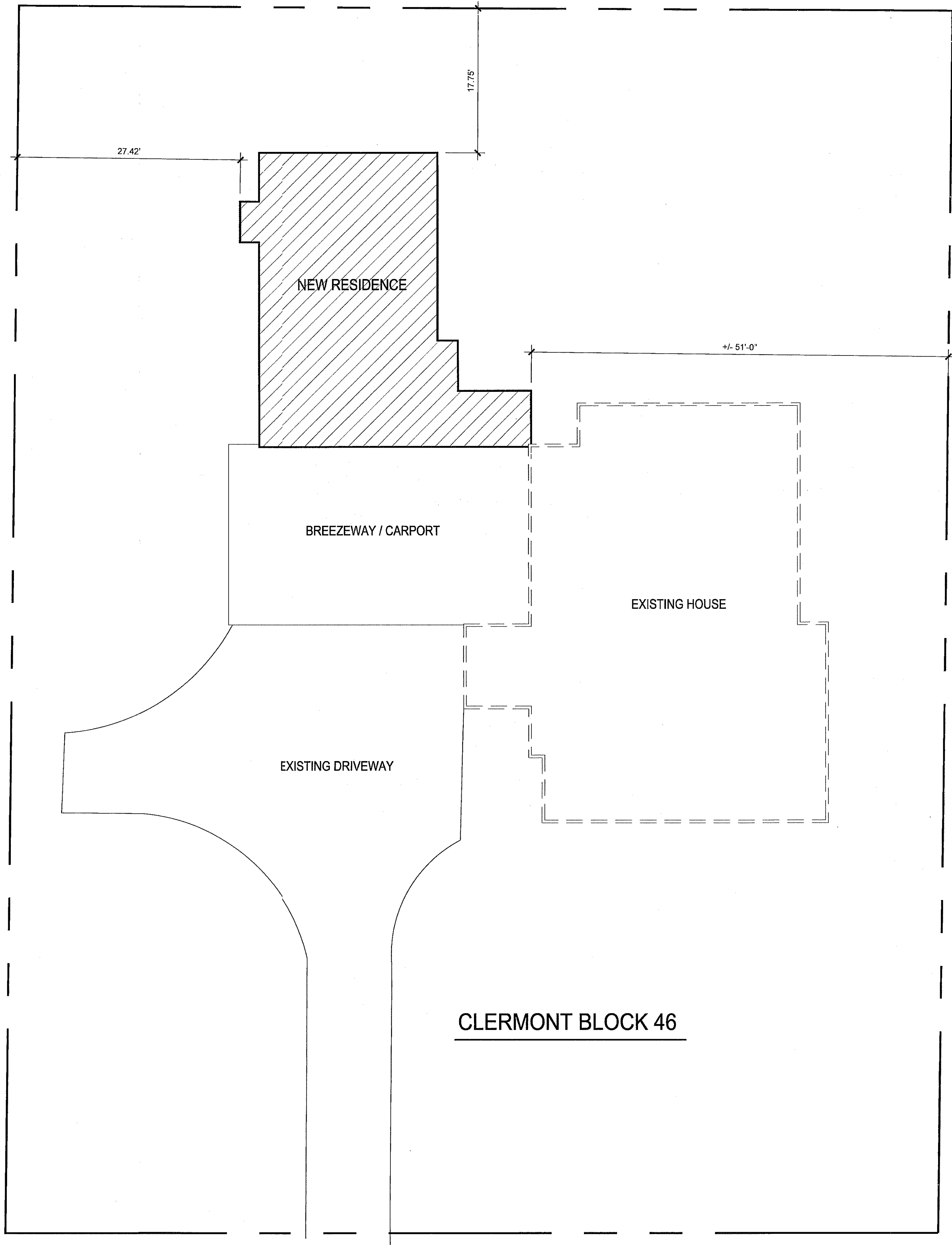


WALLER RESIDENCE
DUPLIX ADDITION
953 FIFTH ST.
CLERMONT, FLORIDA

DRAWN
DDD
CHECKED
DS
DATE
05 - 04 - 2016
SCALE
NOTED
JOB NO.
1615
SHEET

5

© 2016, DANA'S DESIGN AND DRAFTING / THE MILLERS
 ALL RIGHTS RESERVED. ANY REPRODUCTION, COPIING, OR TRANSMISSION OF THIS DOCUMENT OR ANY PART THEREOF WITHOUT THE WRITTEN PERMISSION OF DANA'S DESIGN AND DRAFTING, INC. IS STRICTLY PROHIBITED. ANY REPRODUCTION, COPIING, OR TRANSMISSION OF THIS DOCUMENT OR ANY PART THEREOF WITHOUT THE WRITTEN PERMISSION OF DANA'S DESIGN AND DRAFTING, INC. IS STRICTLY PROHIBITED. ANY REPRODUCTION, COPIING, OR TRANSMISSION OF THIS DOCUMENT OR ANY PART THEREOF WITHOUT THE WRITTEN PERMISSION OF DANA'S DESIGN AND DRAFTING, INC. IS STRICTLY PROHIBITED.



SITE PLAN

1/8" = 1'-0"

NOTE: THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED THE WIND LOAD REQUIREMENTS OF THE 2014 BUILDING CODE, RESIDENTIAL EDITION SECTION R301 AND INCLUDING ASCE 7-10.
1. WIND SPEED = 139 MPH ULTIMATE WIND SPEED (WUH) AND 108 MPH (Vesd)
2. RISK CATEGORY 2 CONSTRUCTION TYPE = SINGLE FAMILY RESIDENTIAL.
3. WIND EXPOSURE = CATEGORY C
4. INTERNAL PRESSURE COEFFICIENT FOR ENCLOSED BUILDINGS IS .18 AND HEIGHT & EXPOSURE ADJUSTMENT COEFFICIENT IS 1.40

DURING CONSTRUCTION, IF IT IS DETERMINED THAT ANY ACTUAL CONDITIONS DIFFER FROM WHAT IS SHOWN ON PLANS, CONTRACTOR TO CONTACT ENGINEER FOR FURTHER REVIEW.

© 2016 DANA'S DESIGN AND DRAFTING / THE WALLER'S. ALL RIGHTS RESERVED. NO PART OF THESE PLANS OR DRAWINGS ARE TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WITHOUT THE EXPRESS WRITTEN PERMISSION AND CONSENT OF DANA'S DESIGN AND DRAFTING. NO PART OF THESE PLANS OR DRAWINGS ARE TO BE ASSIGNED TO ANY PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

DANA'S DESIGN AND DRAFTING

5810 WILLOW BUD CT.
ORLANDO, FLORIDA
407-953-2505

WALLER RESIDENCE
DUPEX ADDITION

953 FIFTH ST.
CLERMONT, FLORIDA

DRAWN
DD
CHECKED
DS
DATE
05 - 04 - 2016
SCALE
NOTED
JOB NO.
165
SHEET

S

REVISIONS	
DATE	NUMBER

D.S. WUNDER CHERAL
LICENSED PROFESSIONAL ENGINEER
ALBANY, FLORIDA 32714
(904) 297-1118
(FL 79118)



CITY OF CLERMONT
VARIANCE
Application

DATE: 6-24-16

FEE: \$200.⁰⁰

PROJECT NAME (if applicable): Marnee Scheer

APPLICANT: Branam James Construction

CONTACT PERSON: James Branam

Address: 710 N 14th St

City: Leesburg State: FL Zip: 34748

Phone: 352-530-2232 Fax: _____

E-Mail: jen@branamjames.com

OWNER: Marnee Scheer

Address: 953 5th St

City: Clermont State: FL Zip: 34711

Phone: _____ Fax: _____

Address of Subject Property: 953 5th St Clermont FL 34711

General Location: 953 5th St Clermont FL 34711

parcel # 24-22-25-010004601000

Legal Description (include copy of survey): CLERMONT S 3/4 OF LOTS
10, 11, 12, BLK 46 PB 8 PG 17/ ORB 2083 PG 2107/

Land Use (City verification required): Residential

Zoning (City verification required): Residential



CITY OF CLERMONT

VARIANCE

Application

Page 2

Answers to the following questions are required to complete this application.

City Zoning Ordinance (Land Development Code Section) from which you are requesting relief:

Rear Set back

Duplex regulations

What are you proposing to do that would require a variance and why? Re-construction of an existing home that was burnt down by a fire

How does the Code create a hardship? It is restricting the ability to re-build the home in the same spot and of the same design as it was before the fire

*** * * * The following justifications must be completed * * * * ***
for any variance requested:

Variance requested – subject and code section: _____

Sec. 86-174. Review criteria and findings.

When reviewing an application for a variance, the City Council shall not vary the requirements of any provision of this land development code unless it makes a positive finding, based on substantial competent evidence, on each of the following:

- (1) Special conditions and circumstances exist which are peculiar to the land, structure or building involved, and which are not applicable to other lands, structures or buildings in the same zoning district;

Yes the building was burnt down by a fire. At the time of original construction it was not determined to be a violation and now it is.

- (2) The condition giving rise to the requested variance has not been created by any person presently having an interest in the property;

No the fire that burnt the home down was accidental and of no action by the homeowner or its occupants



CITY OF CLERMONT
VARIANCE
Application
Page 3

3) Literal interpretation and enforcement of the land development code regulations would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the land development code, and would work unnecessary and undue hardship on the applicant;

Yes the ability to re-construct the home just as it was prior to the fire would limit the enjoyment of the home based on its original set up and usefulness.

(4) The variance request is not based exclusively upon a desire to reduce the cost of developing the site or otherwise economically founded;

No the homeowner will continue to occupy the home just as was before the fire and in fact this will increase the value and tax basis.

(5) The variance, if granted, is the minimum variance necessary to make possible the reasonable use of the land, building or structure;

Yes

(6) Granting of the variance request will not confer on the applicant any special privilege that is denied by the land development code to other lands, buildings or structures in the same zoning district;

No this is a unique circumstance where-in the use of the property has been restricted because of an accidental fire. Granting of this variance would only go to allow same use as before to

(7) The proposed variance will not substantially diminish property value in, or alter the essential character of, the area surrounding the site; and

No the value would be diminished if the property could not be re-built and put back the way it was before the fire



CITY OF CLERMONT
VARIANCE
Application
Page 4

(8) The granting of the variance will be in harmony with the general intent and purpose of this land development code, and will not be injurious to the surrounding properties or detrimental to the public welfare.

The building that stood there before is being duplicated and was not adversarial to any property or its owners previously and will not be after re-construction.

James Branan
Applicant Name (print)

x [Signature]
Applicant Name (signature)

Mahrnee J Scheer
Owner Name (print)
JAMES WALLER

x [Signature]
Owner Name (signature)

***** NOTICE *****

IF THIS APPLICATION IS SUBMITTED INCOMPLETE OR INACCURATE, IT WILL BE SUBJECT TO A DELAY IN PROCESSING AND WILL NOT BE SCHEDULED UNTIL SUCH CORRECTIONS ARE MADE. APPLICATION FOR VARIANCE DOES NOT GUARANTEE APPROVAL. THE APPLICANT MUST BE PRESENT AT ANY MEETINGS TO JUSTIFY AND SUPPORT THE REQUEST.

City of Clermont
Development Services Department.
685 W. Montrose St.
P.O. Box 120219
Clermont, FL. 34712-021 9
(352) 394-4083 Fax: (352) 394-3542

PROPERTY RECORD CARD

General Information

Owner Name:	SCHEER MAHRNEE J &	Alternate Key:	3793055
Mailing Address:	JAMES A WALLER 953 5TH ST CLERMONT, FL 34711 Update Mailing Address ⓘ	Parcel Number:	24-22-25- 010004601000
		Millage Group and City:	000C (CLERMONT)
		Total Millage Rate:	18.65210
		Trash/Recycling/Water/Info:	My Public Services Map ⓘ
Property Location:	953 5TH ST CLERMONT FL 34711 Update Property Location ⓘ	Property Name:	Submit Property Name ⓘ
		School Locator:	School and Bus Map ⓘ
Property Description:	CLERMONT S 3/4 OF LOTS 10, 11, 12, BLK 46 PB 8 PG 17 ORB 2083 PG 2107		

Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class	Value	Land Value
1	SFR DRY LOT (0100)	113	150		2.75	LT		\$0.00	\$38,115.00

Residential Building(s)

Building 001

Residential		Single Family		Building Value: \$61,845.00				
Summary								
Year Built: 1925		Total Living Area: 1464		Central A/C: Yes		Attached Garage: No		
Bedrooms: 1		Full Bathrooms: 1		Half Bathrooms: 1		Fireplaces: 0		
Incorrect Bedroom, Bath, or other information? Click here to Update My Information.								
Section(s)								
Section No.	Section Type	Ext. Wall Type	No. Stories	Floor Area	Finished Attic	Basement	Basement Finished	Map Color
1	FINISHED LIVING AREA (FLA)	Wood (001)	1	1064	N	0%	0%	
2	FINISHED LIVING AREA (FLA)	Wood (001)	1	400	N	0%	0%	
3	ENCLOSED PORCH (EPA)	Wood (001)	1	272	N	0%	0%	
4	ENCLOSED PORCH (EPA)	Wood (001)	1	80	N	0%	0%	

953 5th Street Variance

The requirements for a variance are as follows:

“Sec. 86-174, Review Criteria and Finding. When reviewing an application for a variance, the board of zoning adjustment shall not vary the requirements of any provision of this land development code unless it makes a positive finding, based on substantial competent evidence, on each of the following:”

There are eight items that the applicant is required to respond to. Staff’s comments, based on the eight requirements for a positive finding as they relate to this request, are as follows:

FINDINGS:

- (1) Special conditions and circumstances exist which are peculiar to the land, structure or building involved, and which are not applicable to other lands, structures or buildings in the same zoning district;
Applicant response: Yes, the building was burnt down by a fire. At the time of original construction, it was not determined to be a violation and now it is.

Staff comments: Staff agrees that the structures were built in 1925 when the land development codes were non-existent and the fire has caused a special circumstance. However, the lot has sufficient space and the owner could have designed the replacement structure to where it would have met the rear setback requirement and alleviated the need for a variance.

Negative finding

- (2) The condition giving rise to the requested variance has not been created by any person presently having an interest in the property;
Applicant response: No, the fire that burnt the home down was accidental and of no action by the homeowner or its occupants.

Staff comments: The owner does have an interest in the property and is requesting the variance.

Negative finding

- (3) Literal interpretation and enforcement of the land development code regulations would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the land development code, and would work unnecessary and undue hardship on the applicant;
Applicant response: Yes, the ability to reconstruct the home just as it was prior to the fire would limit the enjoyment of the home based on its original set up and usefulness.

Staff comments: The owner is not prohibited from replacing the structure, as long as it meets the requirements of the land development code. The owner wishes to place the new structure in the location of the one that burnt down, thus requiring a variance to the rear yard setback.

Negative finding

- (4) The variance request is not based exclusively upon a desire to reduce the cost of developing the site or otherwise economically founded;
Applicant response: No, the homeowner will continue to occupy the home just as was before the fire and in fact this will increase the value and tax basis.

Staff comments: No evidence of decreased costs due to the variance request.

Positive finding

- (5) The variance, if granted, is the minimum variance necessary to make possible the reasonable use of the land, building or structure;

Applicant response: Yes

Staff comments: The applicant's request for the variance seems to be the minimum variance necessary to make the reasonable use in the location of the previous structure and of the proposed structure.

Positive finding

- (6) Granting of the variance request will not confer on the applicant any special privilege that is denied by the land development code to other lands, buildings or structures in the same zoning district;

Applicant response: No, this is a unique circumstance where in the use of the property has been restricted because of an accidental fire. Granting of this variance would only go to allow same use as before.

Staff comments: The City Council has granted similar variance requests in the past.

Positive finding

- (7) The proposed variance will not substantially diminish property value in, or alter the essential character of the area surrounding the site; and

Applicant response: No, the value would be diminished if the property could not be rebuilt and put back the way it was before the fire.

Staff comments: The proposed variance does not seem to substantially diminish property values or alter the essential character of the area.

Positive finding

- (8) The granting of the variance will be in harmony with the general intent and purpose of this land development code, and will not be injurious to the surrounding properties or detrimental to the public welfare.

Applicant response: The building that stood there before is being duplicated and was not adversarial to any property or its owners previously and will not be after reconstruction.

Staff comments: Staff feels that granting the variance will not be injurious to the surrounding properties or detrimental to the public welfare.

Positive finding

STAFF RECOMMENDATION:

Section 86-174 of the LDC requires a positive finding on eight items in order to grant a variance, and staff believes that **three** of the eight do not meet these findings. Therefore, staff recommends **denial** of the variance requests by the applicant to the Clermont Land Development Code.

LEGAL NOTICE

Notice is hereby given that the City Council of the City of Clermont will consider a request for the following variance: (1) to allow for a rear yard setback of 15 feet instead of 25 feet as required by the Land Development Code, Section 122-186 – Yards at the following location:

LOCATION:

953 5th Street
(Alt. Key 3793055)

A complete legal description may be obtained in the Development Services Department located at 685 West Montrose Street, Clermont, FL 34711.

This request will be heard by the City Council at a public hearing to be held on Tuesday, July 12, 2016 at 6:30 P.M. in the Clermont City Hall located at 685 West Montrose Street.

All interested parties will be given an opportunity to express their views on this matter.

Please be advised that, under State law, if you should decide to appeal a decision made with respect to this matter, you will need a record of the proceedings, and may need to ensure that a verbatim record is made.

Tracy Ackroyd Howe, MMC
City Clerk

Daily Commercial
July 5, 2016



CITY OF CLERMONT

AGENDA ITEM

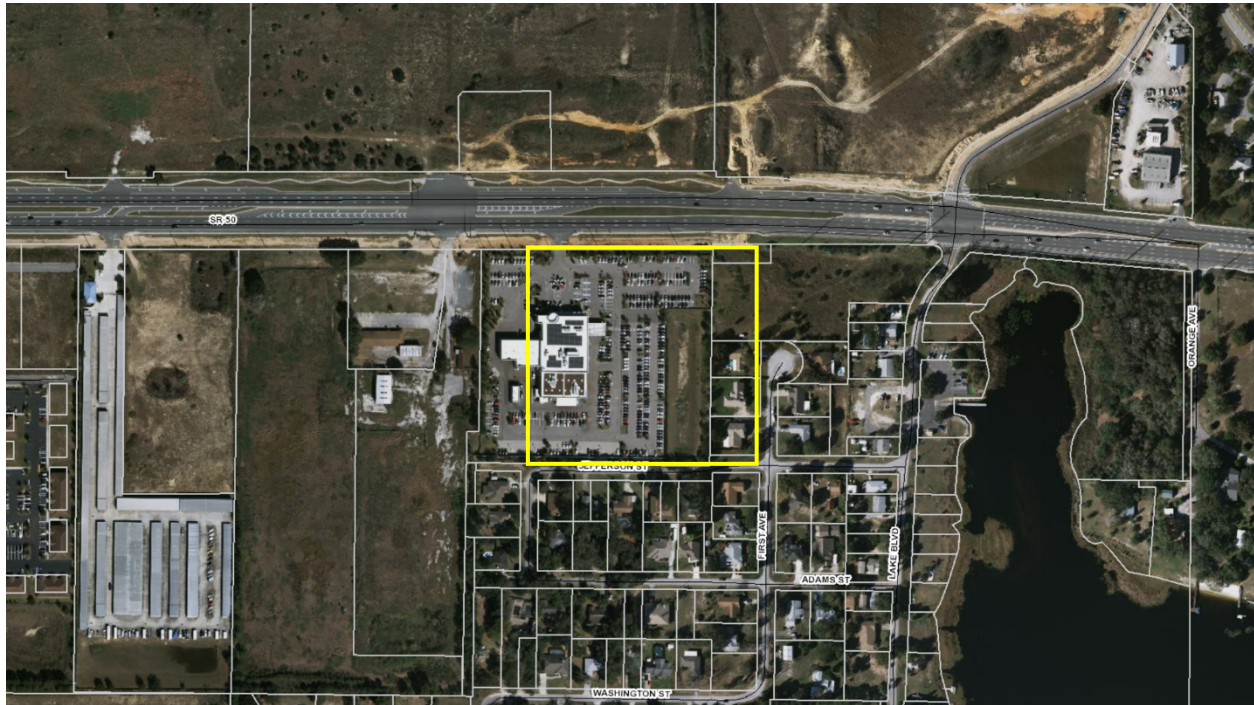
Page 1 of 1

Meeting Date		
Tuesday, July 12, 2016		
Agenda Item Name		
Variance Request <i>Headquarter Honda</i>		
Requested Action		
Recommend denial of the variance request.		
Staff Report		
The applicant is requesting a monument sign to exceed 10 feet in height and more than 60 square feet of copy area for the Honda automotive dealership located at 17700 East Highway 50. Per the Land Development Code (LDC), the monument signs adjacent to Highway 50 shall have a maximum height of 10 feet and a maximum sign area of 60 square feet. The applicant's proposal is to construct a monument sign that will be 17 feet in height (7 feet above code) with a sign copy area of 64 square feet (4 square feet above code). The applicant states this request will serve several purposes. By allowing a larger sign, the applicant believes that fewer motorists will need to perform a U-turn on Highway 50 to return to the site. The larger sign will make it easier for drivers to see as they approach the location. The applicant states that the second purpose is to remain competitive with the other surrounding automotive dealerships. Currently, the Toyota dealership has a 35-foot-tall sign and a 22-foot-tall sign, and the Nissan dealership has a 20-foot-tall sign. Section 86-174 of the Land Development Code requires a positive finding on eight items in order to grant a variance. Staff believes that four of the eight do not meet these findings. Therefore, staff recommends denial of this variance request.		
Additional Analysis		
Fiscal Impact Summary		
Fiscal Impact	Fund Number and Description	Available Budget Amount
Exhibits Attached (copies of original agreements)		
1. Photos	Exhibit 1 Photos.docx	
2. Finding of Facts	Exhibit 2 FOF.docx	
3. Application	Application.pdf	
4. Legal ad	VAR legal ad.doc	

Exhibit 1

DEVELOPMENT NAME: Headquarter Honda

Location Map:



Existing Sign view from Hwy. 50.



Exhibit 2

The requirements for a variance are as follows:

“Sec. 86-174, Review Criteria and Finding. When reviewing an application for a variance, the board of zoning adjustment shall not vary the requirements of any provision of this land development code unless it makes a positive finding, based on substantial competent evidence, on each of the following:”

There are eight items that the applicant is required to respond to. Staff’s comments, based on the eight requirements for a positive finding as they relate to this request, are as follows:

FINDINGS:

- (1) Special conditions and circumstances exist which are peculiar to the land, structure or building involved, and which are not applicable to other lands, structures or buildings in the same zoning district;

Applicant response: Setback, sign size restrictions and extensive landscaping imposed on this parcel when developed has defeated purpose of allowing signage in the first place, i.e., assisting people in finding the business while controlling clutter and maintaining visually pleasing and consistent aesthetic.

Staff comments: Staff does not feel that special conditions exist for this site.
Negative finding

- (2) The condition giving rise to the requested variance has not been created by any person presently having an interest in the property;

Applicant response: Conditions were imposed during development of the property.

Staff comments: The current owner / applicant does have an interest in the property.
Negative finding

- (3) Literal interpretation and enforcement of the land development code regulations would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the land development code, and would work unnecessary and undue hardship on the applicant;

Applicant response: Existing code at time of development has led to situation where existing signage is practically non-functional and inconsistent with other businesses in the area on S.R. 50.

Staff comments: Other parcels within this area of the city and within the same zoning district have conformed to city code requirements.
Negative finding

- (4) The variance request is not based exclusively upon a desire to reduce the cost of developing the site or otherwise economically founded:

Applicant response: In addition to creating a substantial competitive disadvantage, minimal visibility causes potentially unsafe conditions on S.R. 50 as customers slow down to search for dealership, suddenly change lanes and are forced at times to make U-turns and cross lanes.

Staff comments: The applicant /owner would have additional costs associated with this variance request.

Positive finding

- (5) The variance, if granted, is the minimum variance necessary to make possible the reasonable use of the land, building or structure;

Applicant response: Applicant is presenting multiple options available under Honda uniform branding requirements and wishes to work with city staff to determine most appropriate in those circumstances.

Staff comments: Based on the submitted plan, the variance would be the minimum necessary.

Positive finding

- (6) Granting of the variance request will not confer on the applicant any special privilege that is denied by the land development code to other lands, buildings or structures in the same zoning district;

Applicant response: Granting variance will place applicant in same position as other commercial ventures fronting S.R. 50.

Staff comments: Based on individual circumstances...sign variances have been approved by city council in the past.

Positive finding

- (7) The proposed variance will not substantially diminish property value in, or alter the essential character of, the area surrounding the site; and

Applicant response: The intent of the proposed signage is to be consistent with the existing aesthetic of the area.

Staff comments: Staff does not feel the variance request will diminish the property value or alter the character of the site itself.

Positive finding

- (8) The granting of the variance will be in harmony with the general intent and purpose of this land development code, and will not be injurious to the surrounding properties or detrimental to the public welfare.

Applicant response: Variance will result in reasonable visibility, increased motorist safety and enhanced economic viability.

Staff comments: The general intent is for signs not to be overly obtrusive. Staff feels the current sign may be enlarged without needing the variance request, but will not meet the applicants requested size.

Negative finding



SCOTT A. GLASS
PARTNER
Shutts & Bowen LLP
300 South Orange Avenue
Suite 1000
Orlando, Florida 32801
DIRECT (407) 835-6964
FAX (407) 849-7264
EMAIL sglass@shutts.com

May 31, 2016

VIA FEDERAL EXPRESS

Development Services Dept.
City of Clermont
685 W. Montrose Street
Clermont, FL 34712

Re: Variance Application

Dear Sir or Madam:

Enclosed please find a completed and executed City of Clermont Variance Application form that I am filing on behalf of Headquarter Orlando Real Estate LLC ("Headquarter"), owner of the property located at 17700 S.R. 50, Clermont, FL (the "Property"). I have also enclosed the following items to facilitate consideration of the application:

1. Statement of Justification.
2. Special Warranty Deed and tax receipt for the Property, marked as Exhibit "A";
3. Site Plan, marked as Exhibit "B";
4. Google Earth® photos showing views of existing Honda ground sign, existing Toyota signs, and existing Nissan sign as viewed from eastbound and westbound S.R. 50, marked as marked as Exhibit "C";
5. Excerpt from existing Honda ground sign permit file, marked as Exhibit "D";
6. Honda Dealership Identification Program & Branding Guidelines, marked as Exhibit "E"; and,
7. Photographs, relevant Lake County sign permit pages, and height survey regarding existing Toyota and Nissan ground signs, marked as Exhibit "F."

Additionally, in accordance with the City of Clermont Variance Filing Instructions, I have enclosed a check payable to the City of Clermont in the amount of \$200.00 for the application filing fee.

May 31, 2016

Page 2

If I have overlooked anything necessary or helpful for consideration of the enclosed application, please let me know as soon as possible. In the meantime, thank your review of the enclosed application materials.

Sincerely,

A handwritten signature in blue ink, appearing to read "Scott A. Glass", with a stylized, cursive script.

Scott A. Glass



CITY OF CLERMONT
VARIANCE
Application

DATE: 31/5/2016

FEE: \$200.⁰⁰

PROJECT NAME (if applicable): Headquarter Honda

APPLICANT: Shutts & Bowen LLP

CONTACT PERSON: Scott A. Glass, Esq.

Address: 300 S. Orange Ave., Suite 1000

City: Orlando State: FL Zip: 32801

Phone: 407-835-6964 Fax: 407-425-8316

E-Mail: sglass@shutts.com

OWNER: Headquarter Orlando Real Estate LLC

Address: c/o Bella Automotive Group, Ltd., 5895 NW 167th Street

City: Miami State: FL Zip: 33015

Phone: 305-423-4616 Fax: E-mail: Judy@headquarterauto.com

Address of Subject Property: 17700 S.R. 50, Clermont, FL 34711

General Location: South of S.R. 50, west of Lake Boulevard and
East of Magnolia Pointe Boulevard

Legal Description (include copy of survey): See attached Exhibit "A."

Land Use (City verification required): Commercial

Zoning (City verification required): C-2



CITY OF CLERMONT
VARIANCE
Application
Page 2

Answers to the following questions are required to complete this application.

City Zoning Ordinance (Land Development Code Section) from which you are requesting relief: Section 102-15(a)(1)a.5.iii maximum sign of 10'.

Section 102-15 (a)(1) a.3.i. maximum sign face 60 sq. ft.

What are you proposing to do that would require a variance and why? Replace existing 8' 3" high Honda Ground sign with 52.56 sq. ft. face with one of several Honda Corporate mandated signs shown on attached Exhibit "C."

How does the Code create a hardship? Existing ground sign which complies with Code is barely visible to motorists looking for Headquarter Honda. See attached Exhibit "D."

*** * * * The following justifications must be completed * * * * ***
for any variance requested:

Variance requested – subject and code section: Sec. 102-15(a)(1)a.5.iii. Sign height.
Sec. 102-15 (a)(1)a.3.i. Maximum sign face.

Sec. 86-174. Review criteria and findings.

When reviewing an application for a variance, the City Council shall not vary the requirements of any provision of this land development code unless it makes a positive finding, based on substantial competent evidence, on each of the following:

- (1) Special conditions and circumstances exist which are peculiar to the land, structure or building involved, and which are not applicable to other lands, structures or buildings in the same zoning district;

Setback, sign size restrictions and extensive landscaping imposed on this parcel when developed has defeated purpose of allowing signage in the first place, i.e., assisting people in finding the business while controlling clutter and maintaining visually pleasing and consistent aesthetic.

- (2) The condition giving rise to the requested variance has not been created by any person presently having an interest in the property;

Conditions were imposed during development of property.



CITY OF CLERMONT
VARIANCE
Application
Page 3

3) Literal interpretation and enforcement of the land development code regulations would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the land development code, and would work unnecessary and undue hardship on the applicant;

Existing code at time of development has led to situation where existing signage is practically non-functional and inconsistent with other businesses in the area on S.R. 50.

(4) The variance request is not based exclusively upon a desire to reduce the cost of developing the site or otherwise economically founded;

In addition to creating a substantial competitive disadvantage, minimal visibility causes potentially unsafe conditions on S.R. 50 as customers slow down to search for dealership, suddenly change lanes and are forced at times to make U-Turns and cross lanes.

(5) The variance, if granted, is the minimum variance necessary to make possible the reasonable use of the land, building or structure;

Applicant is presenting multiple options available under Honda's uniform branding requirements and wishes to work with City staff to determine most appropriate in those circumstances.

(6) Granting of the variance request will not confer on the applicant any special privilege that is denied by the land development code to other lands, buildings or structures in the same zoning district;

Granting variance will place applicant in same position as other commercial ventures fronting on S.R. 50.

(7) The proposed variance will not substantially diminish property value in, or alter the essential character of, the area surrounding the site; and

The intent of the proposed signage is to be consistent with the existing aesthetic of the area.



CITY OF CLERMONT
VARIANCE
Application
Page 4

(8) The granting of the variance will be in harmony with the general intent and purpose of this land development code, and will not be injurious to the surrounding properties or detrimental to the public welfare.

Variance will result in reasonable visibilty, increased motorist safety and enhanced economic viability.

Shutts & Bowen LLP, Scott A. Glass

Applicant Name (print)

X

A blue ink signature of Scott A. Glass.

Applicant Name (*signature*)

Headquarter Orlando Real Estate, LLC

Owner Name (print)

X

A blue ink signature of Headquarter Orlando Real Estate, LLC.

Owner Name (*signature*)

*** * * * * NOTICE * * * * ***

IF THIS APPLICATION IS SUBMITTED INCOMPLETE OR INACCURATE, IT WILL BE SUBJECT TO A DELAY IN PROCESSING AND WILL NOT BE SCHEDULED UNTIL SUCH CORRECTIONS ARE MADE. APPLICATION FOR VARIANCE DOES NOT GUARANTEE APPROVAL. THE APPLICANT MUST BE PRESENT AT ANY MEETINGS TO JUSTIFY AND SUPPORT THE REQUEST.

City of Clermont

Development Services Department.
685 W. Montrose St.
P.O. Box 120219
Clermont, FL. 34712-021 9
(352) 394-4083 Fax: (352) 394-3542



CITY OF CLERMONT
VARIANCE
Application
Page 4

(8) The granting of the variance will be in harmony with the general intent and purpose of this land development code, and will not be injurious to the surrounding properties or detrimental to the public welfare.

Variance will result in reasonable visibilty, increased motorist safety and enhanced economic viability.

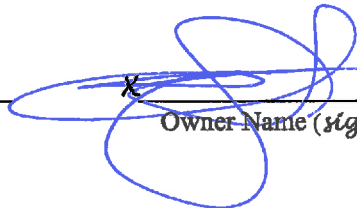
Shutts & Bowen LLP, Scott A. Glass

Applicant Name (print)

X 
Applicant Name (signature)

Headquarter Orlando Real Estate, LLC

Owner Name (print)

X  CFO
Owner Name (signature)

*** * * * * NOTICE * * * * ***

IF THIS APPLICATION IS SUBMITTED INCOMPLETE OR INACCURATE, IT WILL BE SUBJECT TO A DELAY IN PROCESSING AND WILL NOT BE SCHEDULED UNTIL SUCH CORRECTIONS ARE MADE. APPLICATION FOR VARIANCE DOES NOT GUARANTEE APPROVAL. THE APPLICANT MUST BE PRESENT AT ANY MEETINGS TO JUSTIFY AND SUPPORT THE REQUEST.

City of Clermont
Development Services Department.
685 W. Montrose St.
P.O. Box 120219
Clermont, FL. 34712-021 9
(352) 394-4083 Fax: (352) 394-3542

Sign Variance Justification Statement

Applicant has set forth its position regarding each of the eight variance criteria listed in section 86-174 of the City Code on the City of Clermont Variance Application form. In accordance with the City of Clermont Variance Filing Instructions Check List, item 4, Applicant offers the following additional justification statement.

As reflected in Exhibit "C," submitted with the variance application, the Headquarter Honda dealership is visually screened from S.R. 50 by heavy landscaping including tall, but not yet fully grown, oak trees. These trees make it extremely difficult to see the dealership building from S.R. 50 until you are practically on top of the driveway. Thus, vehicle shoppers and others who are not familiar with the exact location of the dealership must rely in large part on the existing ground sign to find it. Furthermore, they must identify the location early enough to safely signal their intention to turn, change lanes if necessary and reduce their travel speed significantly in order to turn safely into the dealership. Unfortunately, because of the size and location of the existing ground sign, particularly when customers are looking for larger and more visible signs such as those found at the nearby Toyota and Nissan dealerships, customers frequently do not register the Honda sign until it is too late to safely make the turn. This often results in motorists having to change lanes to make U-turns, sometimes then having to cross two additional lanes of traffic to get to the driveway.

According to §102-1 of the City Code, the purpose and intent of the sign code "is to ensure adequate means of communication through signage while maintaining attractive visual appearance within the city." It is intended to, among other things:

- (1) Maintain the established suburban character of the city by regulating all exterior signage in a manner which promotes low profile signage of high quality design.
- (2) Protect and maintain the visual integrity of roadway corridors within the city by establishing a maximum amount of signage on any one site to reduce visual clutter.
- (3) Establish locations and setback for signage which are designed to protect motorists from visual distractions, obstructions and hazards.
- (4) Enhance the appearance of the physical environment by requiring that signage be designed as an integral architectural feature of the site
- (5) Provide for signage which satisfies the needs of the local business community for visibility, identification and communication.

Unfortunately, until the nearby oak trees grow to a height that allows for a greater view of the dealership from S.R. 50, a literal interpretation and enforcement of the City's existing sign code with its limited height essentially renders the existing sign non-functional. Without better signage, Headquarter Honda can easily be mistaken from S.R. 50 as an office building or retail

use with a parking lot in the front. Rather than protecting motorists from visual distractions, obstructions and hazards, the lack of visibility results in motorists who are looking for the dealership actually being distracted looking for the sign. This can result in driving slower which, in turn, creates obstructions and hazards. Moreover, aside from the safety issue, the existing signage does not satisfy the needs of the local business community for identification and communication; certainly not like other nearby auto dealership signs. Thus, a literal interpretation and application of the City Code is at odds with the stated purpose and intent of the sign code.

In order to rectify the current situation, the owner of Headquarter Honda would like to replace the existing ground sign, which is only 8'3" tall and which contains only 52.56 square feet of sign face. See, Exhibit "D." Headquarter, however, is limited in its choices of signage by the manufacturer's mandatory global branding program. See, Exhibit "E." Thus, Applicant is asking for two variances, one to height and one to sign area, in order to allow replacement of the existing ground sign with one acceptable to both the City and Honda and, preferably, consistent with the ground signs of other nearby auto dealerships. Applicant seeks only to level the playing field and protect its customers, visitors and employees. Applicant is not requesting a 100' tall flagpole or any other untoward or highly exaggerated variance to excessively draw attention to the Headquarter Honda dealership or criticism to the City's aesthetics.

To determine what size sign would be equitable and effective, Applicant obtained the permit plans for the existing Toyota and Nissan ground signs from Lake County. As you will see from Exhibit "F," the easternmost Toyota ground sign is 35' tall. The western Toyota sign is 25' tall. The nearby Nissan ground sign is 20' tall. Thus, all exceed the county's 12' height limit significantly. Moreover, while the City does not measure sign heights from the adjacent roadway, these signs still substantially exceed the ostensible county height limit when measured in that manner. Specifically, as shown on Exhibit "F," the Toyota signs rise 25.1' and 23' above the surface of S.R. 50, respectively. Similarly, the Nissan sign is more than 16' feet above the road. These heights, coupled with the clear view of these dealerships from the road, allow motorists to identify these businesses quickly, efficiently and from a distance that allows for safe turn signals, lane changes and deceleration.

Given the existence of these nearby signs, the variances requested by Headquarter Honda would clearly not "substantially diminish property value in, or alter the essential character of, the area surrounding the site." Furthermore, whatever ground sign might ultimately be approved from Honda's mandated options, the City may rest assured that such will be of high quality design, architecturally integrated into the site and will not promote visual "clutter." Each of Honda's prescribed ground signs has been specifically designed by Honda to provide satisfactory visibility, brand identification and communication of location while meeting or, at worst, only minimally exceeding, the City's regular signage parameters.

Accordingly, under the unique circumstances of this case, Applicant respectfully submits that a height variance and small sign area variance are justified.

CFN 2009004015
Bk 03719 Pgs 2141 ~ 2143 (3pgs)
DATE: 01/14/2009 10:03:49 AM
NEIL KELLY, CLERK OF COURT
LAKE COUNTY
RECORDING FEES 27.00
DEED DOC 34,475.00

Prepared by and return to:

William N. Asma PA
884 South Dillard Street
Winter Garden, FL 34787

File Number: Room 4 07-316
Will Call No.:

[Space Above This Line For Recording Data]

Warranty Deed

This Warranty Deed made this 12 day of January, 2009 between Room 4, Inc., a Florida corporation whose post office address is P.O. Box 651, Oakland, FL 34760-0651, grantor, and Headquarter Orlando Real Estate, LLC or Assigns, a Florida limited liability company, whose post office address is 5895 N.W. 167 Street, Hialeah, FL 33015, grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Lake County, Florida to-wit:

See Exhibit "A" attached

Parcel Identification Number: 2522260500-000-00100 through 00900

This is not the homestead property of the Grantor.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2008.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

EXHIBIT A

DoubleTime®

Signed, sealed and delivered in our presence:

Elizabeth Millan
Witness Name: Elizabeth Millan
Sharon D. Morgan
Witness Name: Sharon D. Morgan

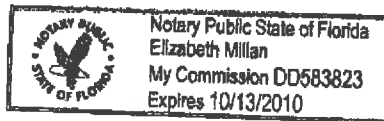
Room 4, Inc.

By: Robert Neil Britt
Robert Neil Britt, President

State of Florida
County of Orange

The foregoing instrument was acknowledged before me this 12 day of January, 2009 by Robert Neil Britt, President of Room 4, Inc., on behalf of the corporation. They ☐ are personally known to me or ☒ have produced a driver's license as identification.

[Notary Seal]



Elizabeth Millan
Notary Public

Printed Name: Elizabeth Millan

My Commission Expires: _____

EXHIBIT A
LEGAL DESCRIPTION:

A PARCEL OF LAND LYING IN THE NORTHEAST 1/4 OF SECTION 25, TOWNSHIP 22 SOUTH, RANGE 26 EAST, LAKE COUNTY, FLORIDA BEING BOUNDED ON THE NORTH BY THE SOUTHERLY RIGHT OF WAY LINE OF STATE ROAD NUMBER 50 AS DEPICTED ON STATE OF FLORIDA RIGHT OF WAY MAP FOR SAID STATE ROAD NUMBER 50, SECTION NUMBER 11070 (FROM WEST OF HANCOCK ROAD TO THE ORANGE COUNTY LINE), DATED 01/10/2005, SHEETS 1 THROUGH 24; SAID PARCEL BEING BOUNDED ON THE EAST BY THE WESTERLY LINE OF BLOCK H AND BLOCK G AND THE PROLONGATION THEREOF, EDGEWATER BEACH, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 8, PAGE 84 OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA; SAID PARCEL BEING BOUNDED ON THE SOUTH BY A LINE LYING 25 FEET NORTH OF BLOCK F OF SAID PLAT OF EDGEWATER BEACH AND THE WESTERLY PROLONGATION THEREOF; SAID PARCEL BEING BOUNDED ON THE WEST BY THE WESTERLY LINE OF JOHNS LAKE PLAZA, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 55, PAGES 51 AND 52 OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.

BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT AN INTERSECTION OF THE SAID SOUTHERLY RIGHT OF WAY LINE OF STATE ROAD NUMBER 50 AND THE SAID WESTERLY LINE OF BLOCK H, PLAT OF EDGEWATER BEACH; THENCE DEPARTING SAID SOUTHERLY RIGHT OF WAY LINE, S00°52'15"W, ALONG THE SAID WESTERLY LINE OF BLOCK H AND BLOCK G AND THE PROLONGATION THEREOF, SAID LINE ALSO BEING THE EASTERLY LINE OF JOHNS LAKE PLAZA, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 55, PAGES 51 AND 52 OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, A DISTANCE OF 615.88 FEET TO AN INTERSECTION WITH SAID LINE LYING 25.00 FEET NORTH OF THE NORTHERLY LINE OF BLOCK F, SAID INTERSECTION BEING THE SOUTHEAST CORNER OF SAID JOHNS LAKE PLAZA AND BEING MONUMENTED WITH A 4" x 4" CONCRETE MONUMENT (NO NUMBER); THENCE DEPARTING SAID PROLONGATION OF THE WESTERLY LINE, N89°11'07"W, ALONG SAID LINE LYING 25 FEET NORTH OF BLOCK F AND WESTERLY PROLONGATION THEREOF, SAID LINE ALSO BEING THE SOUTHERLY LINE OF SAID JOHNS LAKE PLAZA, A DISTANCE OF 693.89 FEET TO THE SOUTHWEST CORNER OF SAID JOHNS LAKE PLAZA; THENCE DEPARTING SAID LINE, N00°59'49"E, ALONG THE WESTERLY LINE OF SAID JOHNS LAKE PLAZA, A DISTANCE OF 89.00 FEET; THENCE S89°33'14"E, ALONG SAID WESTERLY LINE, A DISTANCE OF 33.74 FEET; THENCE N00°52'21"E ALONG SAID WESTERLY LINE, A DISTANCE OF 519.56 FEET TO AN INTERSECTION WITH THE SAID SOUTHERLY RIGHT OF WAY LINE OF STATE ROAD NUMBER 50; THENCE DEPARTING SAID WESTERLY LINE, S89°48'07"E, ALONG SAID SOUTHERLY RIGHT OF WAY LINE, A DISTANCE OF 659.99 FEET TO THE POINT OF BEGINNING.

CONTAINING 9.35 ACRES MORE OR LESS OVERALL.

A/K/A

LOTS 1 THROUGH 9 AND TRACT A IN JOHNS LAKE PLAZA AS RECORDED IN PLAT BOOK 55, PAGES 51 AND 52, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.

BOB McKEE

LAKE COUNTY TAX COLLECTOR

NOTICE OF AD VALOREM TAXES AND NON-AD VALOREM ASSESSMENTS

2015 Paid Real Estate

ACCOUNT NUMBER	ESCROW CODE	ALTERNATE KEY	MILLAGE CODE
2522260001-000-00500		1037409	000C

HEADQUARTER ORLANDO REAL
ESTATE LLC OR ASSIGNS
5895 NW 167TH ST
HIALEAH, FL 33015

17700 STATE ROAD 50

NE 1/4 OF W 1320 FT OF GOV LOT 1--LESS
BEG AT INTERSECTION OF S R/W LINE OF
SR 50 & E LINE OF W 660 FT OF GOV LOT
1, RUN S 01-00-01 E 518.

See Additional Legal on Tax Roll



PAY IN U.S. FUNDS TO BOB McKEE, TAX COLLECTOR • PO BOX 327 • TAVARES, FL 32778-0327 • 352-343-9602

AD VALOREM TAXES					
TAXING AUTHORITY	ASSESSED VALUE	EXEMPTION AMT	TAXABLE VALUE	MILLAGE RATE	TAXES LEVIED
LAKE COUNTY GENERAL	5,309,469	0	5,309,469	5.3051	28,167.26
AMBULANCE MSTU	5,309,469	0	5,309,469	0.4629	2,457.75
ENVIRON LAND PURCHASE	5,309,469	0	5,309,469	0.1600	849.52
LAKE CO SCHOOL BOARD					
CURRENT	5,473,729	0	5,473,729	5.6970	31,183.83
CAPITAL OUTLAY	5,473,729	0	5,473,729	1.5000	8,210.59
CITY OF CLERMONT	5,309,469	0	5,309,469	4.2061	22,332.16
ST JOHNS WATER MGMT	5,309,469	0	5,309,469	0.3023	1,605.05
LAKE CO WATER AUTH	5,309,469	0	5,309,469	0.2554	1,356.04
S LAKE CNTY HOSP	5,309,469	0	5,309,469	0.7633	4,052.72
TOTAL:				18.6521	\$100,214.92

NON-AD VALOREM ASSESSMENTS		
LEVYING AUTHORITY	RATE	AMOUNT
F044 FIRE NON-RES		7,059.00
NON-AD VALOREM ASSESSMENTS:		\$7,059.00

COMBINED TAXES AND ASSESSMENTS: \$107,273.92

If Paid By	Nov 30, 2015
Please Pay	\$0.00

Paid 11/06/2015 Receipt # 2015-00122275 \$102,982.96

BOB McKEE

LAKE COUNTY TAX COLLECTOR

NOTICE OF AD VALOREM TAXES AND NON-AD VALOREM ASSESSMENTS

2015 Paid Real Estate

PAY IN U.S. FUNDS TO BOB McKEE, TAX COLLECTOR • PO BOX 327 • TAVARES, FL 32778-0327 • 352-343-9602

If Paid By	Nov 30, 2015
Please Pay	\$0.00

17700 STATE ROAD 50

HEADQUARTER ORLANDO REAL
ESTATE LLC OR ASSIGNS
5895 NW 167TH ST
HIALEAH, FL 33015

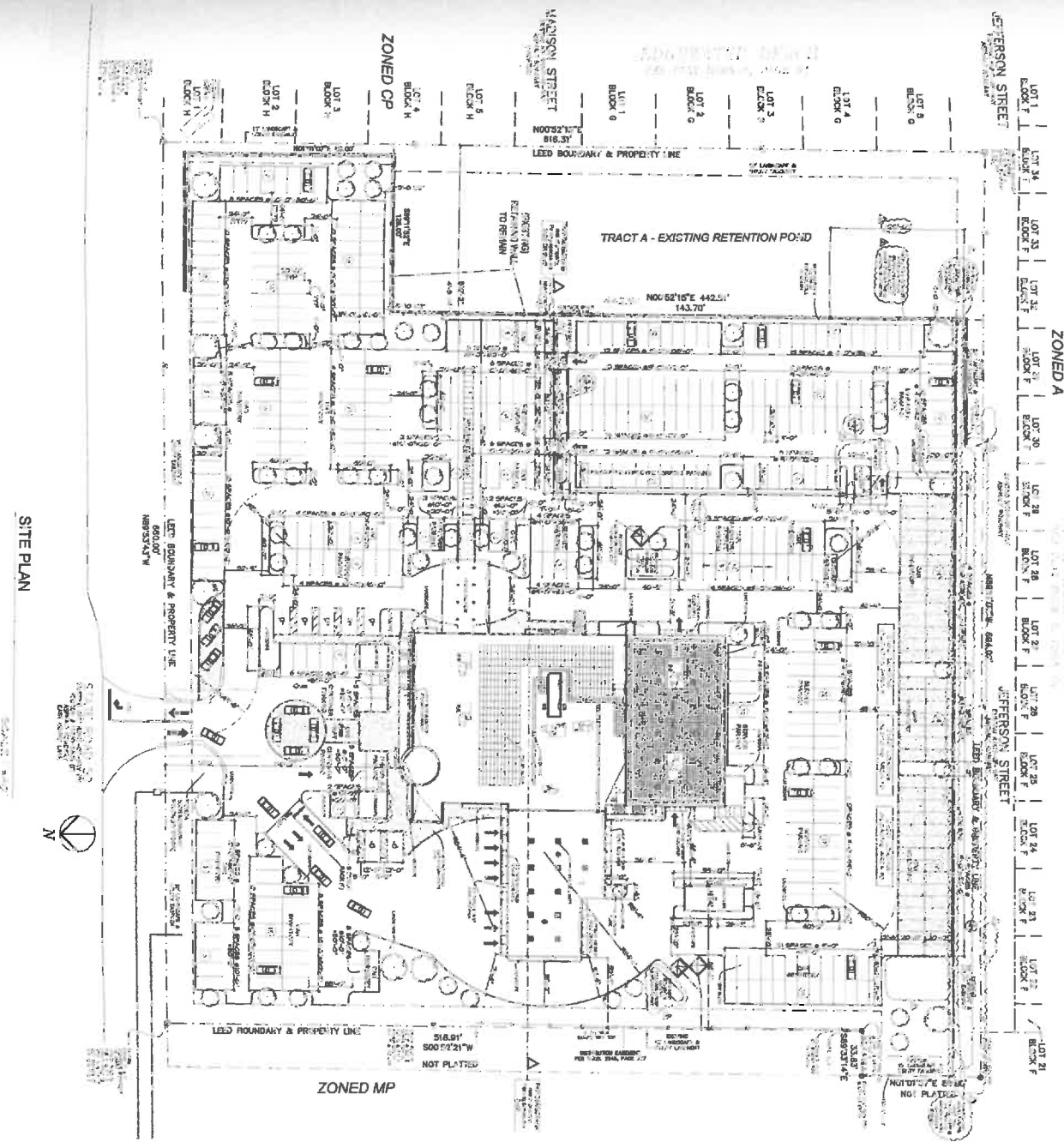
NE 1/4 OF W 1320 FT OF GOV LOT 1--LESS
BEG AT INTERSECTION OF S R/W LINE OF SR
50 & E LINE OF W 660 FT OF GOV LOT 1, RUN S
01-00-01 E 518.

See Additional Legal on Tax Roll

ACCOUNT NUMBER	ESCROW CODE	ALTERNATE KEY	MILLAGE CODE
2522260001-000-00500		1037409	000C

Paid 11/06/2015 Receipt # 2015-00122275 \$102,982.96



[illegible]

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74																										

EXHIBIT B



WESTBOUND

W Colonial Dr



Exit Stre

EXHIBIT C

© 2016 Google
© 2016 Google

28°32'46.54" N 81°39'42.67" W elev 154 ft ey/alt 14

Google ex

problem

W Colonial Dr



Exit Stre

WEST BOUND

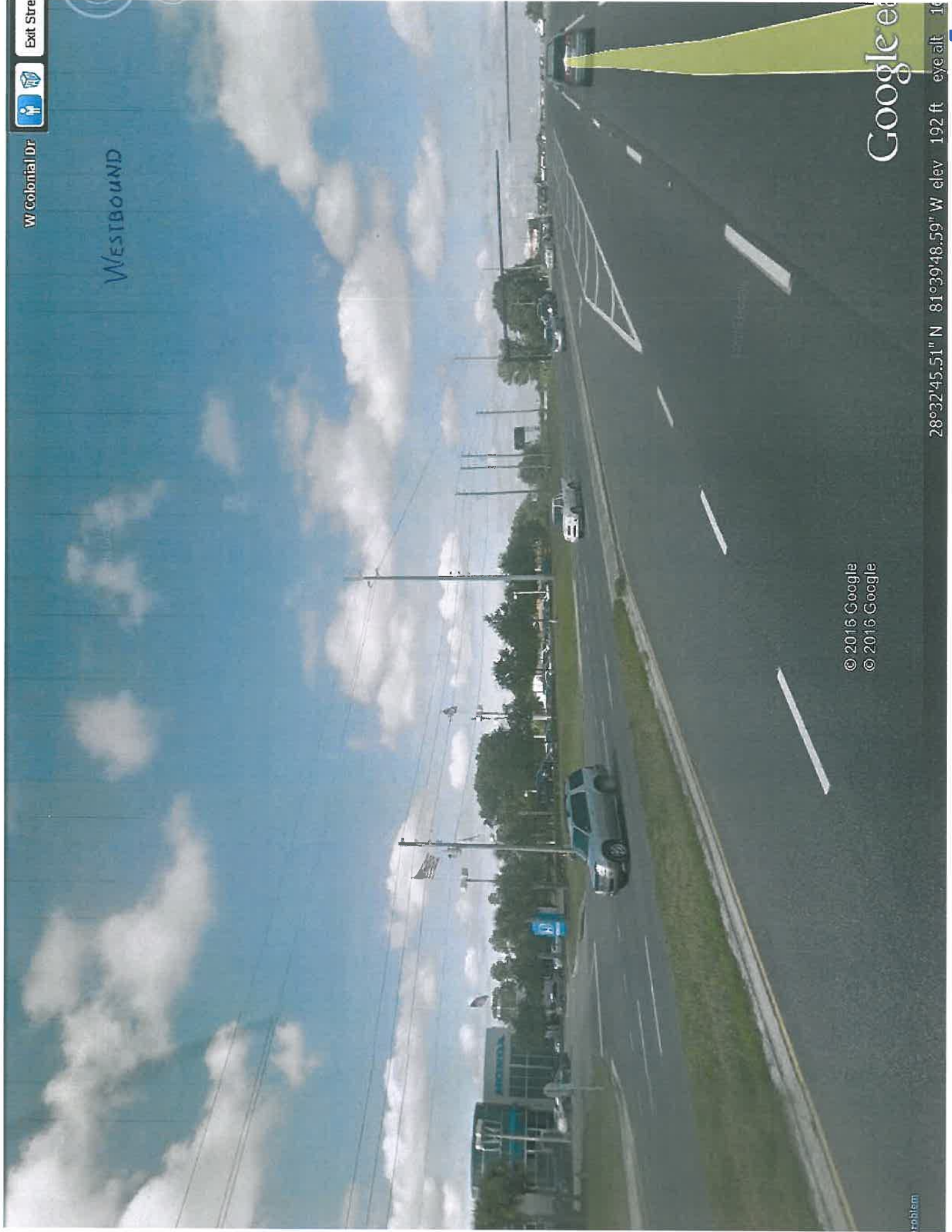


© 2016 Google
© 2016 Google

Google

28°32'46.56" N 81°39'44.85" W elev 187 ft eye alt 14

Problem



W Colonial Dr



Exit Stre

WESTBOUND

© 2016 Google
© 2016 Google

Google

problem

28°32'45.51" N 81°39'48.59" W elev 192 ft eye alt 16

Westbound

FL-50



Exit Stre

© 2016 Google
© 2016 Google

Google

28°32'47.38" N 81°40'28.00" W elev 143 ft eye alt 14

problem

WESTBOUND

FL-50



Exit Stre

© 2016 Google
© 2016 Google

Google e

28°32'48.39" N 81°40'35.96" W elev 148 ft eye alt 1

problem

WESTBOUND



© 2016 Google
© 2016 Google

Google

WESTBOUND

FL-50



Exit Stre

© 2016 Google
© 2016 Google

Google e

28°32'48.35" N 81°41'22.64" W elev 151 ft eyealt 1

problem

EASTBOUND

FL-50



Exit Stre

© 2016 Google
© 2016 Google

Google e

28°32'47.96" N 81°41'19.26" W elev 149 ft eye alt 13



EASTBOUND

FL-50

Exit Stre



© 2016 Google
© 2016 Google

Google

28°32'46.24" N 81°40'50.06" W elev 190 ft eye alt 15

problem



EASTBOUND

© 2016 Google
© 2016 Google

Google

28°32'47.79" N 81°40'32.74" W elev 140 ft eye alt 10

Exit 50



Exit Stre

EASTBOUND

BL-50

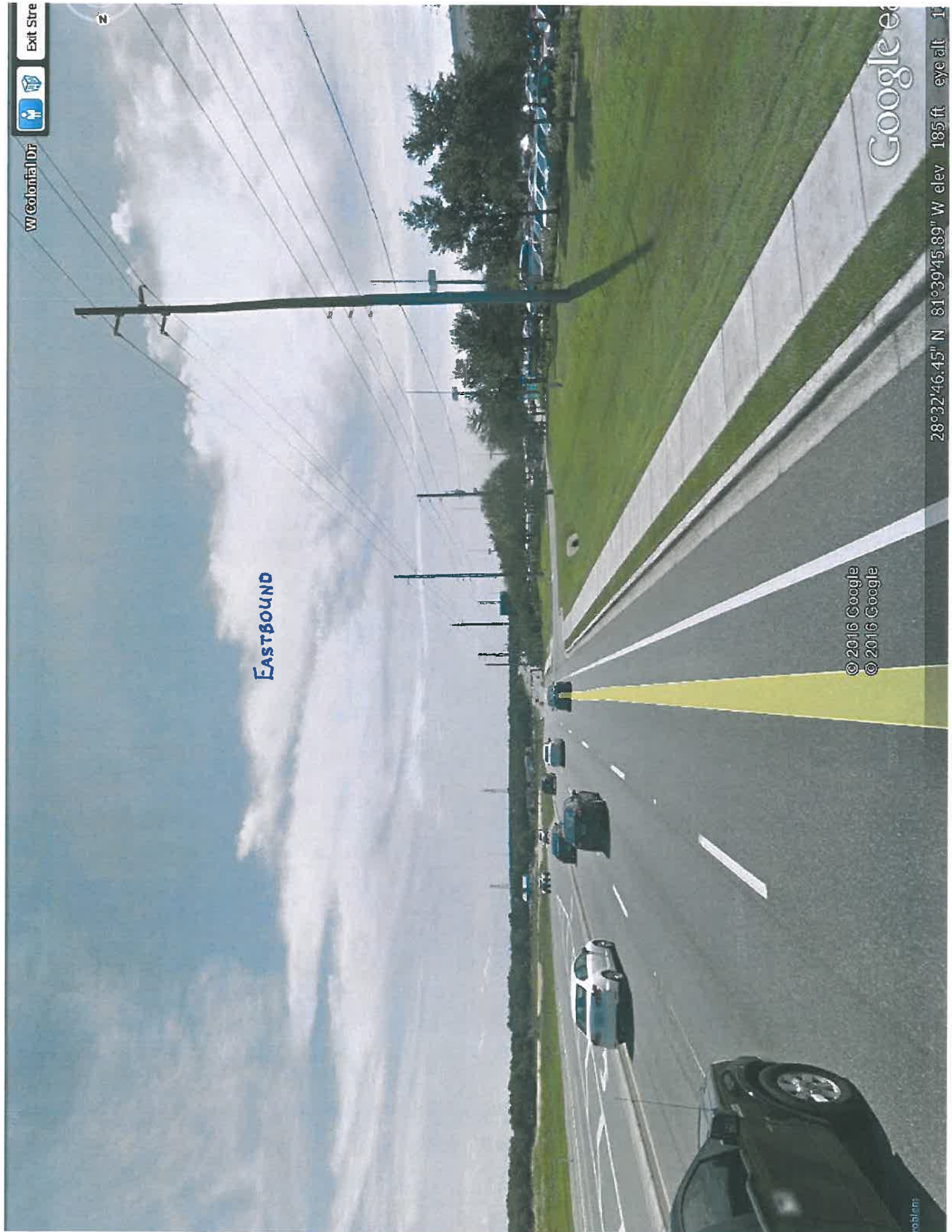


Exit Stre

© 2016 Google
© 2016 Google

Google

28°32'48.06" N 81°40'26.80" W elev 159 ft eye alt 17



Eastbound

© 2016 Google
© 2016 Google

Google

W Colonial Dr



Exit Stre

28°32'46.45" N 81°39'45.89" W elev 185 ft eye alt 17

volant

EASTBOUND

W Colonial Dr

Exit Stre

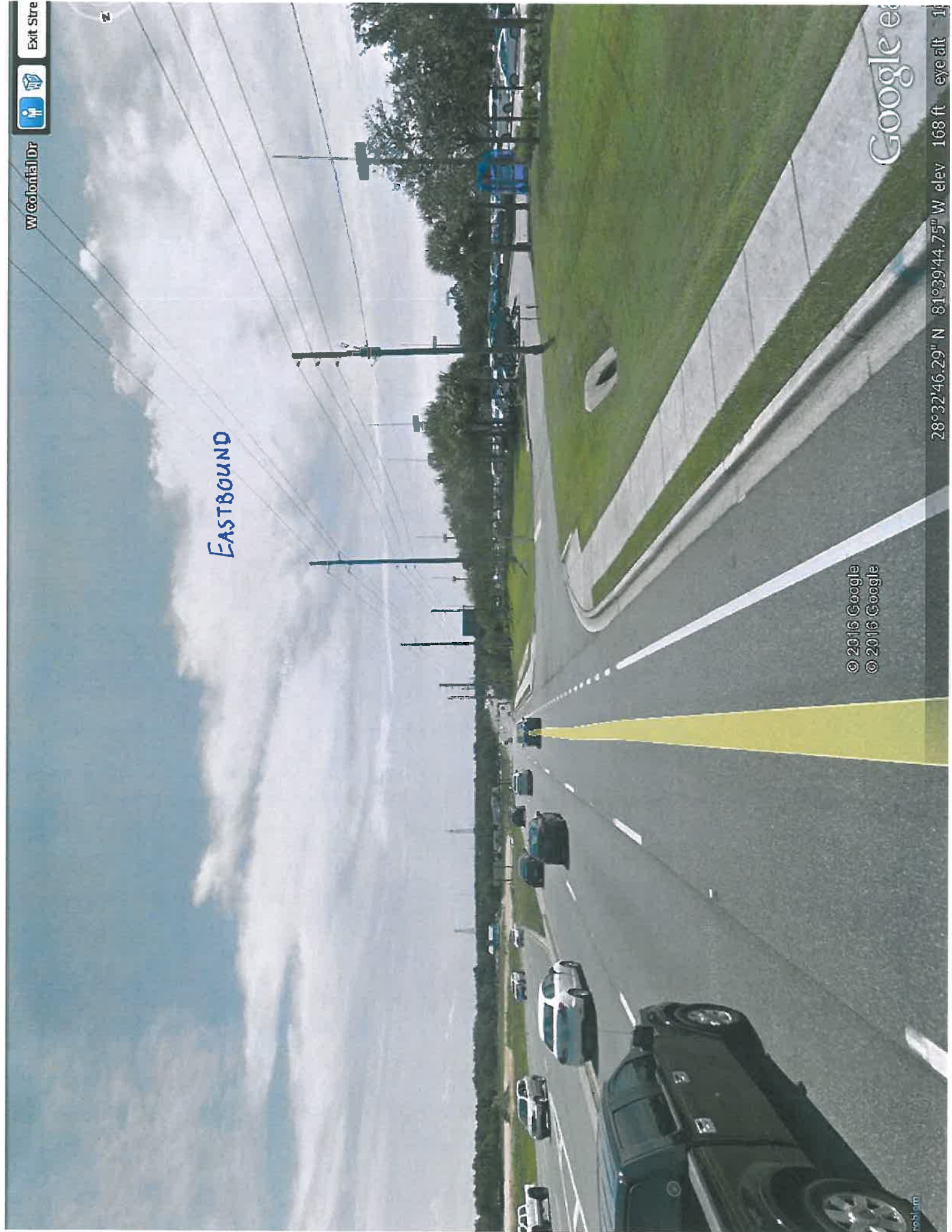


© 2016 Google
© 2016 Google

Google

28°32'46.28" N 81°39'44.47" W elev 132 ft eye alt 10

17.4



EASTBOUND

EASTBOUND

W Colonial Dr

Exit Stre



2

© 2016 Google
© 2016 Google

Google

28°32'46.27" N 81°39'42.71" W elev 178 ft eye alt 10

Problem

Robert W. Wall, PE 46021 A S and E, Inc.

7X7 CLADLESS MONUMENT
INSTALLATION INSTRUCTIONS

INSTALLATION INSTRUCTIONS

SEE "INSTALLATION FIELD MANUAL" #A15552 FOR FOUNDATION AND
INSTALLATION STANDARDS.

1. EXCAVATE FOR FOUNDATION, ANCHOR BOLTS, & ELECTRICAL CONDUIT.
2. POUR CONCRETE AND ALLOW 7 DAYS FOR CONCRETE TO CURE.
3. REMOVE ALL EXCAVATED FILL FROM SITE.
4. TEST LIGHT SIGN UPON DELIVERY.
5. UNCRATE SIGN.
6. REMOVE ESCUTCHEON PANEL FROM SIGN.
7. LIFT SIGN INTO PLACE AND ATTACH TO FOUNDATION.
8. MAKE SURE SIGN IS LEVEL AND PLUMB.
9. REMOVE LIFTING ANGLES AND REPLACE BOLTS.
10. MAKE FINAL ELECTRICAL CONNECTION & TEST LIGHT.
11. GROUT UNDER PLATES.
12. CLEAN & SECURE ALL FACES
13. REATTACH ESCUTCHEON.
14. CLEAN SITE OF ALL DEBRIS.
15. INSTALLATION TO CONFORM TO N.E.C. AND ANY OTHER APPLICABLE LOCAL CODES.

LAKE COUNTY **מחוז לייק**

ELECTRICAL NOTES

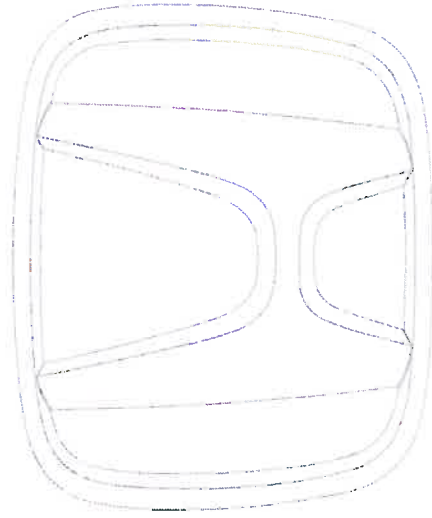
1. INSTALLATIONS OF ALL WIRING AND ELECTRICAL CONNECTIONS MUST CONFORM TO NATIONAL ELECTRICAL CODE REQUIREMENTS AND APPLICABLE LOCAL CODES. PERSON PROPERLY QUALIFIED BY LOCAL CODE REQUIREMENTS TO MAKE ALL ELECTRICAL CONNECTIONS
2. ALL UNDERGROUND ELECTRICAL CONNECTIONS MUST BE MADE IN ACCESSIBLE AND APPROVED WATERPROOF ELECTRICAL BOXES.
3. SIGN AND STRUCTURAL MUST BE PROPERLY GROUNDED PER REQUIREMENTS OF NATIONAL ELECTRICAL CODE AND APPLICABLE LOCAL CODES
4. DO NOT TEST LIGHT THE SIGN USING THE GENERATOR ON THE SERVICE TRUCK.
5. SERVICE TRUCK SHOULD BE GROUNDED TO EARTH BEFORE SERVICING THE SIGN.

P/N: 110523



4110 N CEDAR BLUFF RD. • SUITE 101 • KNOXVILLE TN 37923

REV	DATE	INIT	ECN	DESCRIPTION OF CHANGE UNSPECIFIED RADII ±.015 R	TOLERANCES: ALL DIMENSIONS ARE IN INCHES UNLESS OTHERWISE SPECIFIED .0005-.015 .0005-.03	PROPERTY OF PATTISON NOT TO BE DUPLICATED.
DSGNR: _____ DWG. BY: _____ CH'K BY: _____ SCALE: _____ DATE: _____ DESCRIPTION: 7X7 MONUMENT INSTALL CUSTOMER: HONDA RECEIVED MAR 8 0 2010				SHT 1 OF 2 DRAWING NUMBER: B27481		



HONDA

GEN-3 Dealership Identification Program & Branding Guidelines



410 N. Cedar Bluff Road Suite 101
Knoxville, Tennessee 37923
www.pattisonsign.com

Honda Sign Family

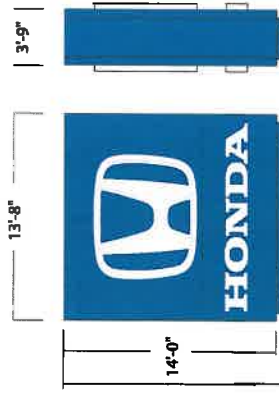
Refer to technical drawings for exact measurements



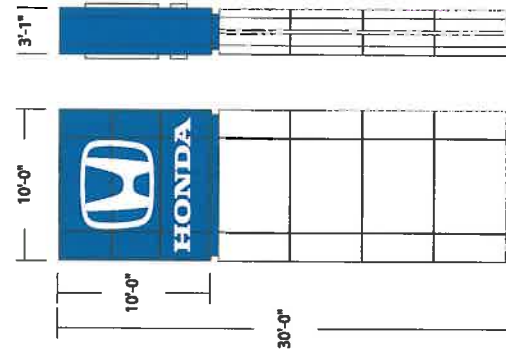
8x10 GEN-3 Emblem
Opt 1. Non-Illuminated
Opt 2. Internally Illuminated



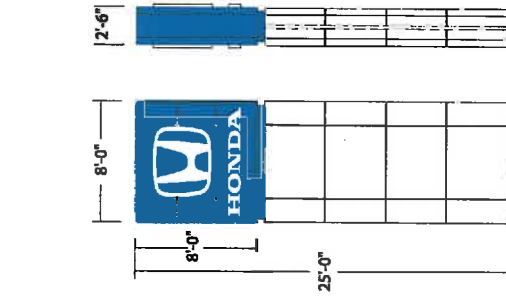
6x8 GEN-3 Emblem
Opt 1. Non-Illuminated
Opt 2. Internally Illuminated



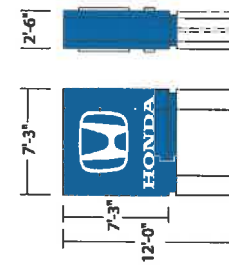
HBS-14x14 - GEN 3



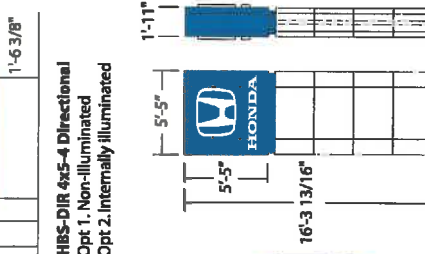
HBS-10x10x30 - GEN 3



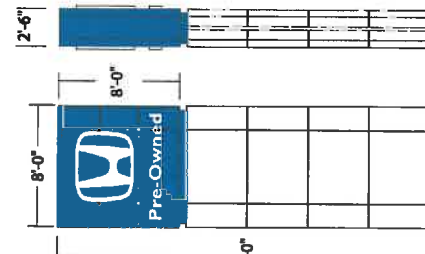
HBS-8x8x25 - GEN 3



HBS-7x7x12 - GEN 3



HBS-5x5x16 - GEN 3



HPO 8x8x25



HLS-30 Honda Letter Set



SCL-30 Service Letters



DNL-36 Dealer Name Letters



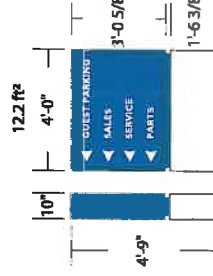
PO-30 Pre-Owned Letters



PO-36 Pre-Owned Letters



OVAL-2x8 Illuminated Signs
1x5 Ovals Available



HBS-DIR 4x5-4 Directional
Opt 1. Non-Illuminated
Opt 2. Internally Illuminated



410 N. Cedar Bluff Road Suite 101
Knoxville, Tennessee 37923
www.pattisongroup.com
Tel (888) 638-1106 Fax (615) 634-1106 Toll Free (888) 215-9278

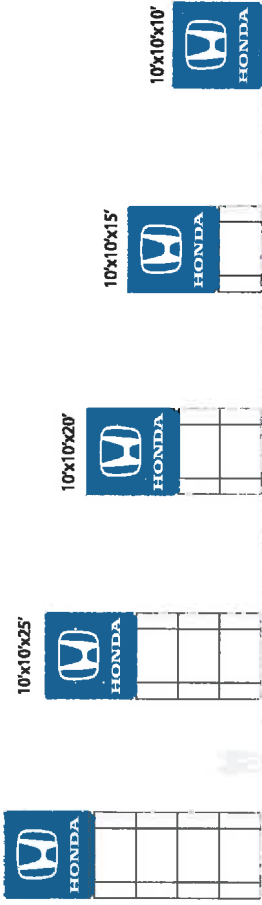
Account: Honda USA
Project Title: Honda Sign Family
Scale: N.T.S.
Date Created: March 2015

Drawn By
Account Rep.
Approved By
Date Revised

Honda Sign Family - HBS GEN 3

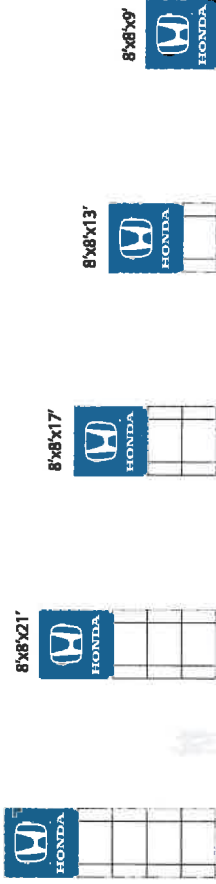
Refer to technical drawings for exact measurements

10'x10'x30'



HBS-10x10 - GEN 3 Pylons

8'x8'x25'



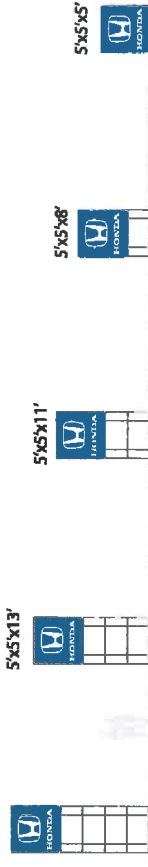
HBS-8x8 - GEN 3 Pylons

7'x7'x12'



HBS-7'3"x7'3" - GEN 3 Pylons

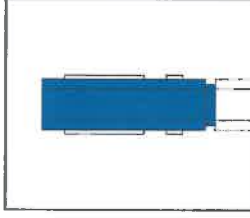
5'x5'x16'



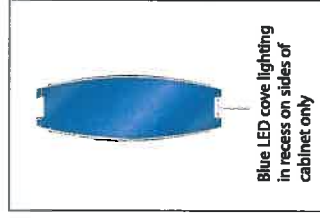
HBS-5'5"x5'5" - GEN 3 Pylons



Photo Rendering



Typical Side View



Typical Plan View



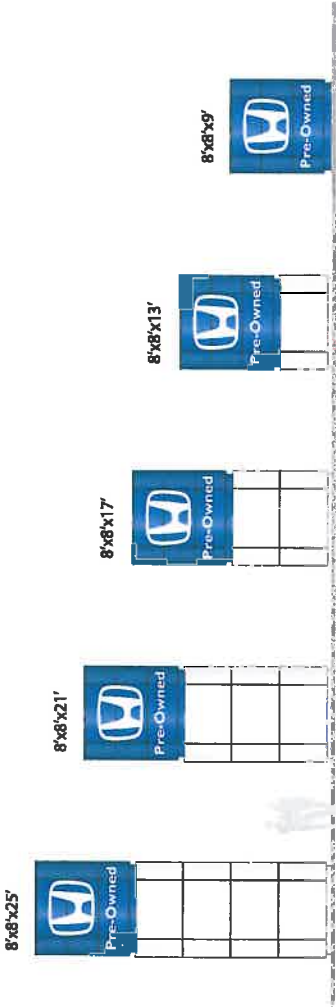
410 N. Cedar Bluff Road Suite 101
Knoxville, Tennessee 37923
www.pattisign.com
Tel (866) 138-1105 • Fax (866) 134-1106 • Toll Free (866) 218-9076

Account: Honda USA
Project Title: Honda Sign Family
Scale: N.T.S.
Date Created: March 2015
Date Revised:

Drawn By
Account Rep.
Approved By
Date Revised

Honda Pre-Owned Sign Family - GEN 3

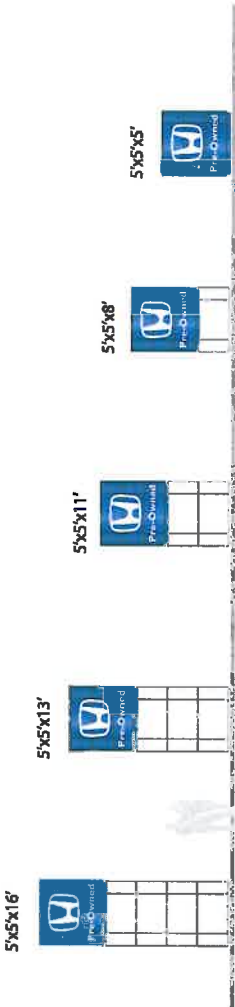
Refer to technical drawings for exact measurements



HPO-8x8 - GEN 3 Pylons



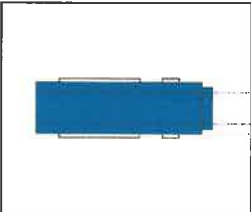
HPO-73'x73' - GEN 3 Pylons



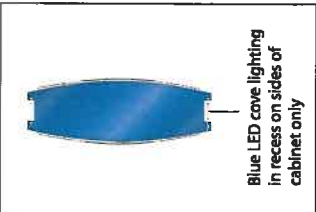
HPO-5'5'x5'5' - GEN 3 Pylons



Photo Rendering



Typical Side View



Typical Plan View

Blue LED cove lighting
in recess on sides of
cabinet only



410 N. Cedar Bluff Road Suite 101
Knoxville, Tennessee 37623
www.pattisongroup.com
Tel (865) 613-1105 Fax (865) 614-1108 Toll Free (866) 215-9276

Account: Honda USA
Project Title: Honda Sign Family
Scale: N.T.S.
Date Created: March 2015

Drawn By
Account Rep.
Approved By
Data Revised

Honda Branding Guidelines

GEN-3 Emblem ("H" logo) Option 1. Fabricated fiberglass painted to match brushed aluminum. Non-illuminated.

GEN-3 Emblem ("H" logo) Option 2. Fabricated white acrylic. Internally illuminated with white LED.

Emblem is positioned center on cylinder and top of emblem to line up with top of windows.

Emblems are available in two standard sizes 8'x10' or 6'x8'.

8'x10' Emblem to fit either a 30" or 20" diameter cylinder.

6'x8' Emblem to fit a 20" diameter cylinder only.

HONDA trademark is standard 30" and is centered on the elevation opposite the wave. LED illuminated.

HONDA trademark can not be within 10' of any other sign.

Dealer name letterset is standard 36". LED illuminated.

The dealer name letterset is placed a minimum of 3' from the edge of the elevation.

If facing the building the wave is on the left side, the "D" in Dealer would be 3' from the end of the elevation.

If facing the building the wave is on the right side, the "r" in Dealer would be 3' from the end of the elevation.

HONDA trademark and dealer letterset are always on the same baseline. Avoid a seam through the letters if possible.

Dealer name letterset and the Service Center are always upper and lower case.

Service Center letters are standard 30" and centered on the elevation over the bay doors. LED illuminated.

2'x8' Oval fascia signs are standard size. Available are 1'x5' oval fascia signs.

Ovals are centered over the bay doors. H.O. fluorescent illuminated (Option for non-illuminated).

Note: "Express Service" message can not be used if they are not an approved Express Service dealership by AHM.

All lettersets increase or decrease in increments of 6".

Pre-Owned letters are standard 30"

Minimum 10' between lettersets on the same elevation.

Stand Alone Pre-Owned building signage:

30" HONDA trademark and 30" Pre-Owned.

Minimum 10' between lettersets on the same elevation.

The 10x10@30' is the flagship brand sign. If not permitted by City code, various sizes are available.

Brand signs, freestanding Pre-Owned signs are allowed at approved secondary dealership locations. However, these signs must be smaller than the primary brand sign allowed by policy at the primary dealership location.

The 14x14@65' is the largest and tallest Interstate sign that is AHM approved.

Not to be used as the primary flagship brand sign but is usually a secondary sign on a site if there is Interstate visibility.

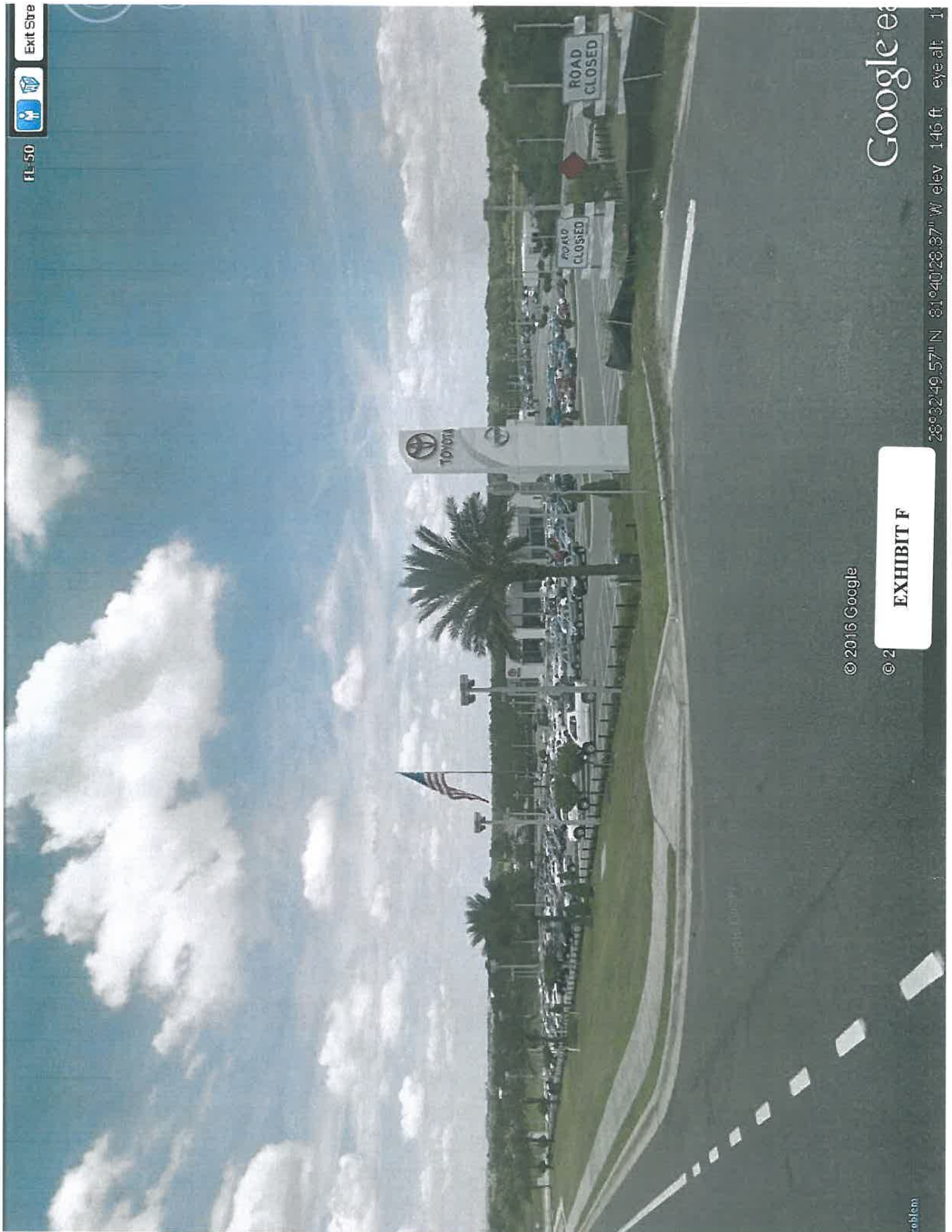
All sign elements need to be approved by Interbrand Design Forum and AHM.



410 N. Cedar Bluff Road Suite 101
Knoxville, Tennessee 37923
www.pattisonsign.com
Tel (866) 433-1108 • Fax (252) 534-1108 • Toll Free (866) 218-9798

Account: Honda USA
Project Title: Honda Sign Family
Scale: N.T.S.
Date Created: March 2015

Drawn By
Account Rep.
Approved By
Date Revised



FL-50



Exit Stre

© 2016 Google

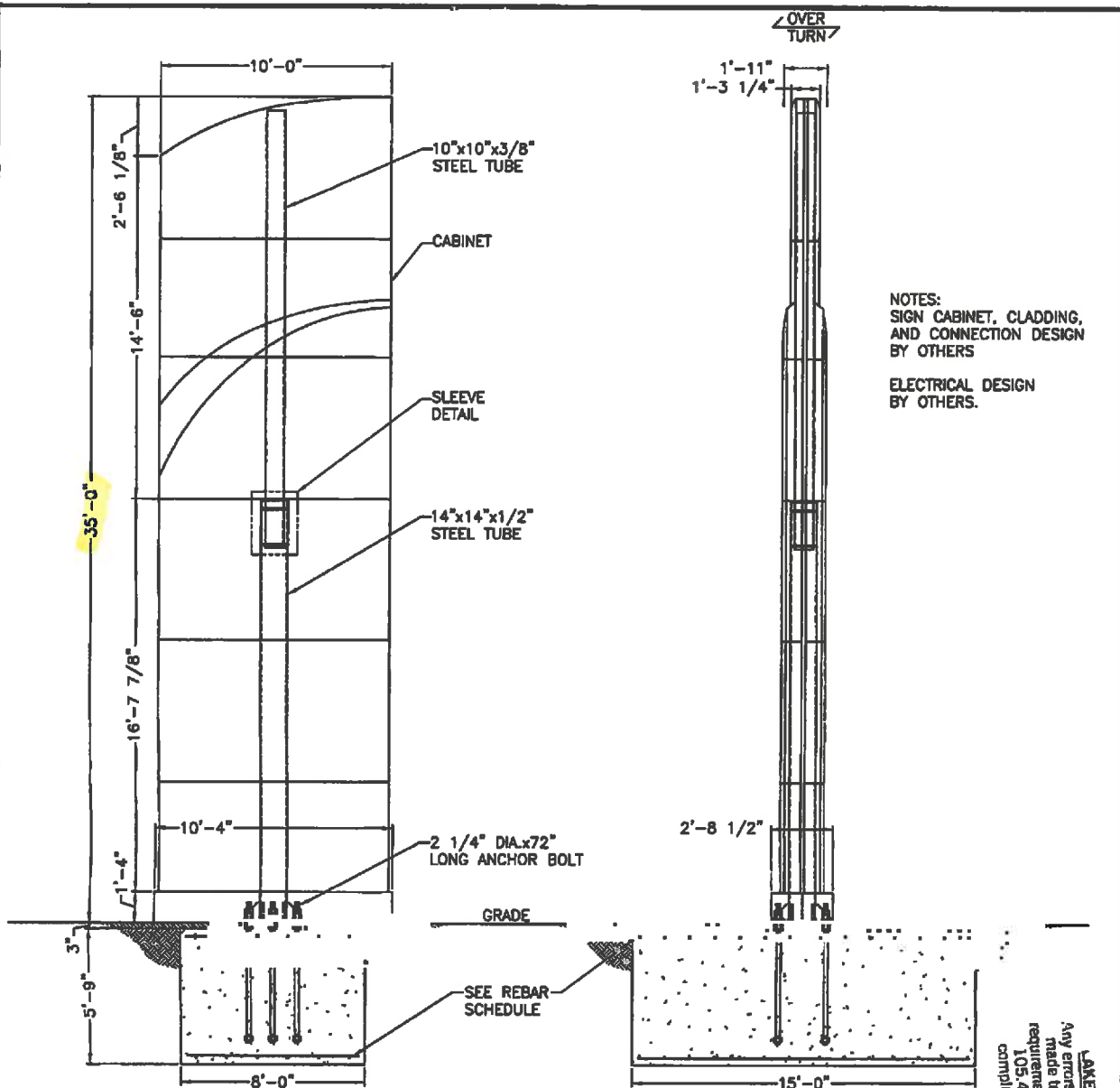
© 2

EXHIBIT F

Google ea

problem

28°32'49.57" N 81°40'28.87" W elev 146 ft eye alt 17



NOTES:
SIGN CABINET, CLADDING,
AND CONNECTION DESIGN
BY OTHERS

ELECTRICAL DESIGN
BY OTHERS.

25 56 CU YDS. OF
CONCRETE REQ'D

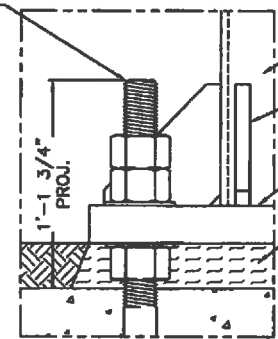
ELEVATION

SIDE VIEW

NOTES:

- Design is based on 140 mph 3 second gust design wind speed per FBC 2010, Category II, Exposure C.
- Spread foundation analysis is based on a safe vertical soil bearing pressure minimum of 2000 psf. Soil report was not furnished. Allowable bearing pressure should be verified prior to placement of concrete. Do not place foundation in fill.
- Concrete shall be mixed to attain a minimum compressive strength of 3000 psi in 28 days.
- Support members shall be free from defects and shall meet ASTM A500 grade B with a minimum yield strength of 46000 psi for tube. Plate and angle shall meet ASTM A36.
- Structural bolts shall be A325 zinc coated unless otherwise noted.
- Anchor bolts shall be cut from A36 round stock. Exposed surfaces shall be galvanized or coated to prevent corrosion.
- All voids between column base plate and foundation surface shall be completely filled with high strength, non-shrink grout.
- Welds shall be made with E70xx electrodes by persons qualified in accordance with AWS standards within the past two years.
- Steel reinforcing bars shall conform to ASTM A615 grade 60 with deformations in accordance with ASTM A-305. Welding of reinforcing bars is prohibited.
- This design is intended for use at the

2 1/4" DIA x 72" LONG ANCHOR BOLT



ANCHOR BOLT PROJECTION DETAIL

REBAR SCHEDULE DO NOT WELD REBAR
SPREAD FOUNDATION 3" MIN CONC. COVER

PLACEMENT	SIZE	SPACING	QUANTITY
LONG BOTTOM STEEL	#8	16"	6
LONG TOP STEEL	#7	16"	6
BOTTOM CROSS STEEL	#6	13"	14
TOP CROSS STEEL	#6	13"	14

LAKE COUNTY BUILDING DIVISION
Any errors or omissions in these plans shall be made to conform with the applicable code requirements per Florida Building Code section 105.4.1. Plans were reviewed for code compliance on 10/18/2018.

RECEIVED MAR 10 2019

ALL DESIGNS AND PLANS PREPARED BY THE DESIGNER ARE THE SOLE PROPERTY OF LINK ENGINEERING, L.L.C. AND SHALL REMAIN THE PROPERTY OF LINK ENGINEERING, L.L.C. WITHOUT LIMITATION OF TIME OR TERRITORY. NO PART OF THIS DESIGN OR ANY INFORMATION HEREIN SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION IN WRITING FROM LINK ENGINEERING, L.L.C.
GREGORY A. CAMPBELL, P.E.
FLORIDA STATE LICENSE NO. 45485

INSTALLATION ADDRESS:

TOYOTA OF CLERMONT
16851 STATE ROAD 50
CLERMONT, FL 34711

CLIENT:

PATTISON SIGN GROUP
222 ELLENBORE ROAD TORONTO, ONTARIO, CAN M1R 4Z5

LINK Engineering, L.L.C.

135 South David Lane • Knoxville, Tennessee 37922
Phone (865) 539-4001 • Fax (865) 539-0851
Online www.linkengr.com
Florida State Certificate of Authorization No. 27148

SW:

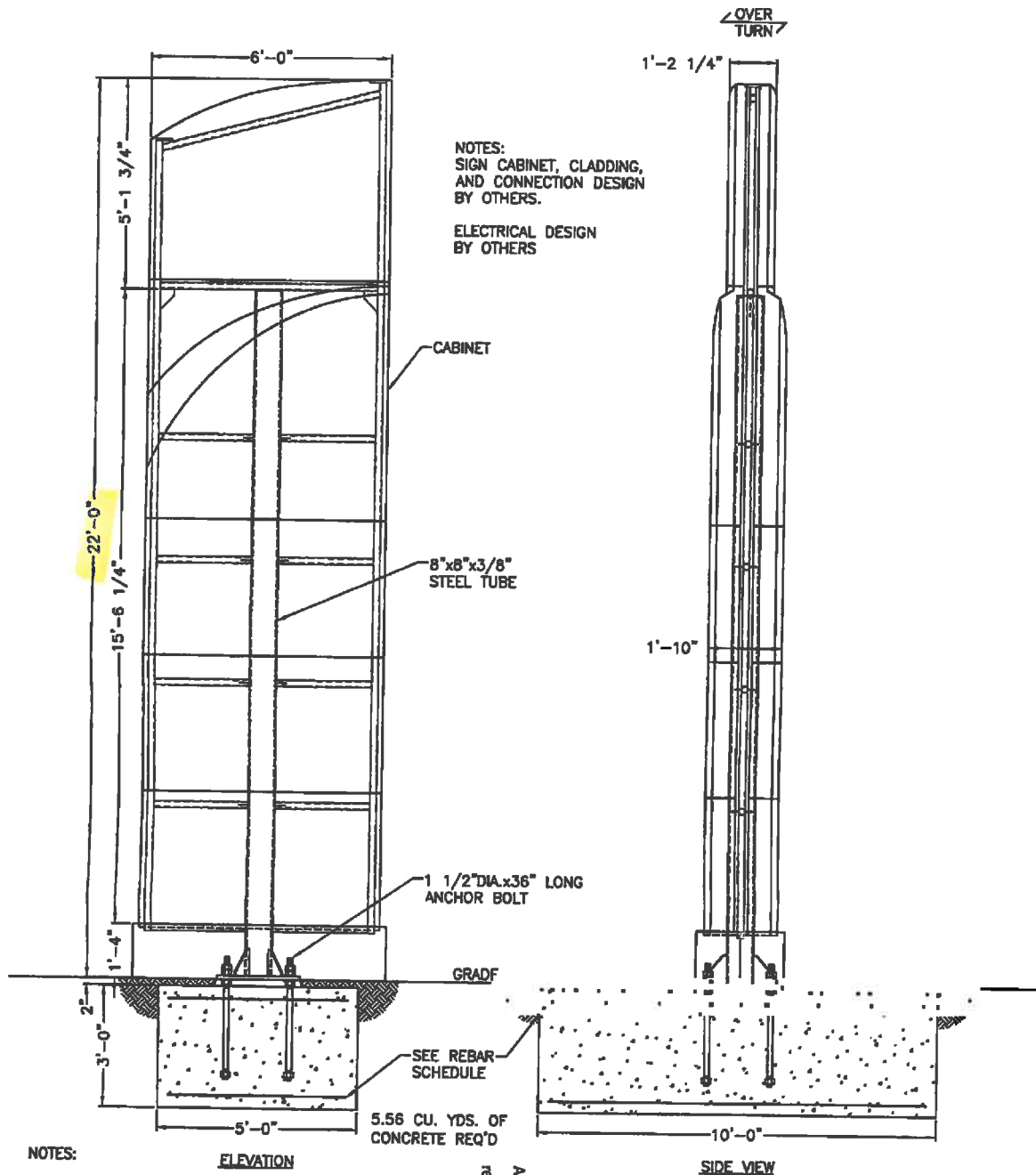
TF:

1/Prepared: [Signature]



© 2016 Google
© 2016 Google

Google e



NOTES:

- Design is based on 140 mph 3 second gust design wind speed per FBC 2010, Category II, Exposure C.
- Spread foundation analysis is based on a safe vertical soil bearing pressure minimum of 2000 psf. Soil report was not furnished. Allowable bearing pressure should be verified prior to placement of concrete. Do not place foundation in fill.
- Concrete shall be mixed to attain a minimum compressive strength of 3000 psi in 28 days
- Support members shall be free from defects and shall meet ASTM A500 grade B with a minimum yield strength of 46000 psi for tube. Plate and angle shall meet ASTM A36.
- Structural bolts shall be A325 zinc coated unless otherwise noted.
- Anchor bolts shall be cut from A36 round stock. Exposed surfaces shall be galvanized or coated to prevent corrosion.
- All voids between column base plate and foundation surface shall be completely filled with high strength, non-shrink grout.
- Welds shall be made with E70xx electrodes by persons qualified in accordance with AWS standards within the past two years.
- Steel reinforcing bars shall conform to ASTM A615 grade 60 with deformations in accordance with ASTM A-305. Welding of reinforcing bars is prohibited.

APPROVED MAR 10 2013

LAKE COUNTY BUILDING DIVISION
Any errors or omissions in these plans shall be made to conform with the applicable code requirements per Florida Building Code section 105.4.1. Plans were reviewed for code compliance and shall be kept on job site.

REBAR SCHEDULE SPREAD FOUNDATION

PLACEMENT	SIZE	SPACING	QUANTITY
LONG BOTTOM STEEL	#6	16"	4
LONG TOP STEEL	#4	16"	4
BOTTOM CROSS STEEL	#4	16"	8
TOP CROSS STEEL	#4	16"	8

DO NOT WELD REBAR
3" MIN CONC. COVER

ALL NOTES AND SPECIFICATIONS IN THESE PLANS ARE THE SOLE PROPERTY OF LINK ENGINEERING, L.L.C. AND SHALL BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR ALTERATION OF THESE PLANS WITHOUT THE WRITTEN CONSENT OF LINK ENGINEERING, L.L.C. IS PROHIBITED. THE USER OF THESE PLANS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR OBTAINING ALL NECESSARY INFORMATION FROM THE LOCAL AGENCIES. IT IS THE USER'S RESPONSIBILITY TO OBTAIN ALL NECESSARY INFORMATION FROM THE LOCAL AGENCIES. IT IS THE USER'S RESPONSIBILITY TO OBTAIN ALL NECESSARY INFORMATION FROM THE LOCAL AGENCIES.

GREGORY A. CAMPBELL, P.E.
FLORIDA STATE LICENSE NO. 45445

INSTALLATION ADDRESS:

TOYOTA OF CLERMONT
16851 STATE ROAD 50
CLERMONT, FL 34711

CLIENT:

**PATTISON
SIGN GROUP**
255 ELLERBERRY ROAD, THUNDERBOLT, ONTARIO, CAN M1H 4B3



LINK Engineering, L.L.C.
135 South Boyd Lane • Knoxville, Tennessee 37922
Phone (865) 536-4001 • Fax (865) 536-0851
Online www.linkengr.com
Florida State Certificate of Authorization No. 27148

SWT.

BY:

IRI

Project Number:

RECEIVED MAR 18 2013

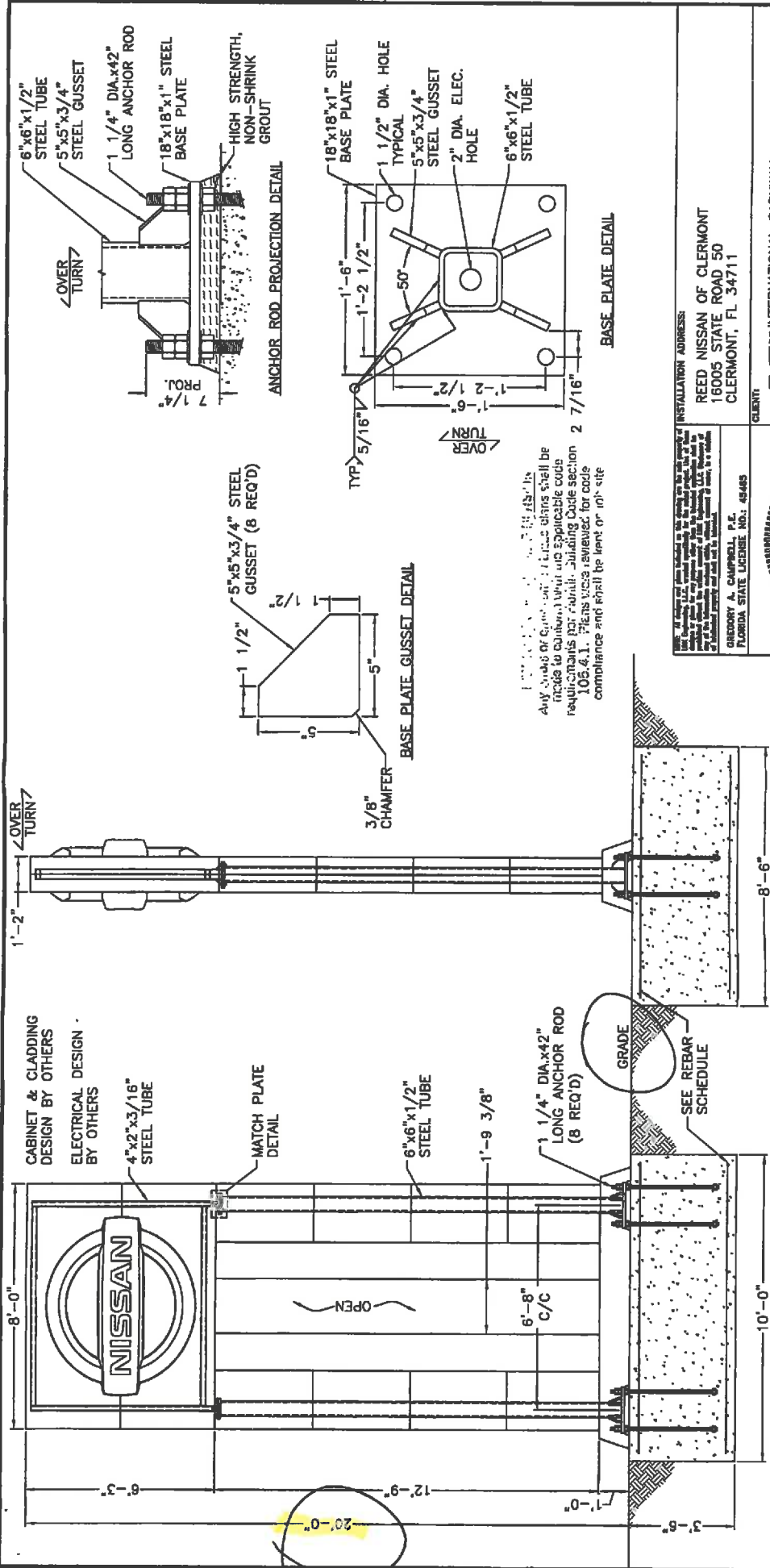


© 2016 Google

© 2016 Google

Google

28°32'50.03"N 81°41'21.86"W elev 140 ft eye alt 13



11.01 CU. YDS. OF CONC. REQ'D.

REBAR SCHEDULE

PLACEMENT	SIZE	SPACING	QUANTITY
LONG BOTTOM STEEL	#5	14"	9
LONG TOP STEEL	#4	14"	9
BOTTOM CROSS STEEL	#4	15"	7
TOP CROSS STEEL	#4	15"	7

DO NOT WELD REBAR 3" MIN. CONC. COVER

ELEVATION

10'-0"

8'-0"

8'-6"

SIDE VIEW

INSTALLATION ADDRESS:

REED NISSAN OF CLERMONT
16005 STATE ROAD 50
CLERMONT, FL 34711

CLIENT:

AGIL INTERNATIONAL PARKWAY
P.O. BOX 9175
VIRGINIA BEACH, VA 23450

PROFESSIONAL ENGINEER

GREGORY A. CAMPBELL, P.E.
FLORIDA STATE LICENSE NO. 49465

RECEIVED JAN 21 2014

LINK Engineering L.L.C.

135 South Dade Ave. Suite 300
Miami, FL 33136
Phone: (305) 538-4001 • Fax: (305) 538-0881
Email: info@linkeng.com
Florida State Certificate of Authorization No. 27108

DATE: 12/31/13

PROJECT NUMBER: 13-1204

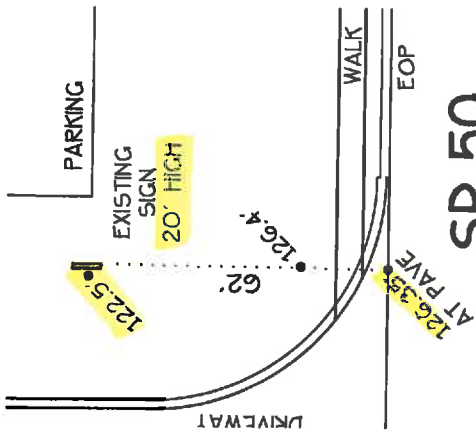
DRAWING NUMBER: B1631577

DATE: 12/31/13

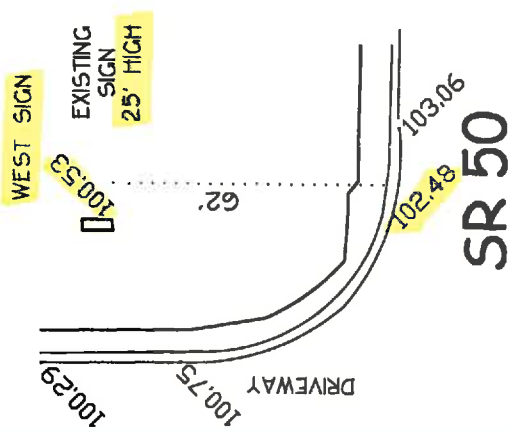
PROJECT NUMBER: 13-1204

DRAWING NUMBER: B1631577

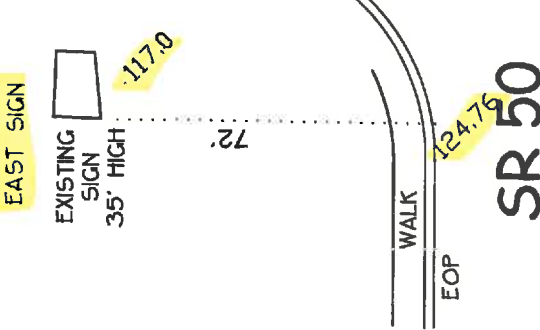
NISSAN



TOYOTA



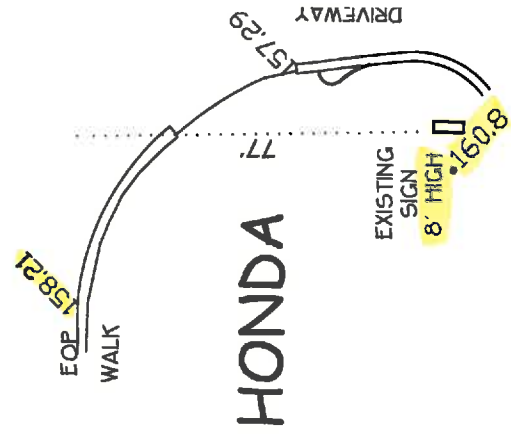
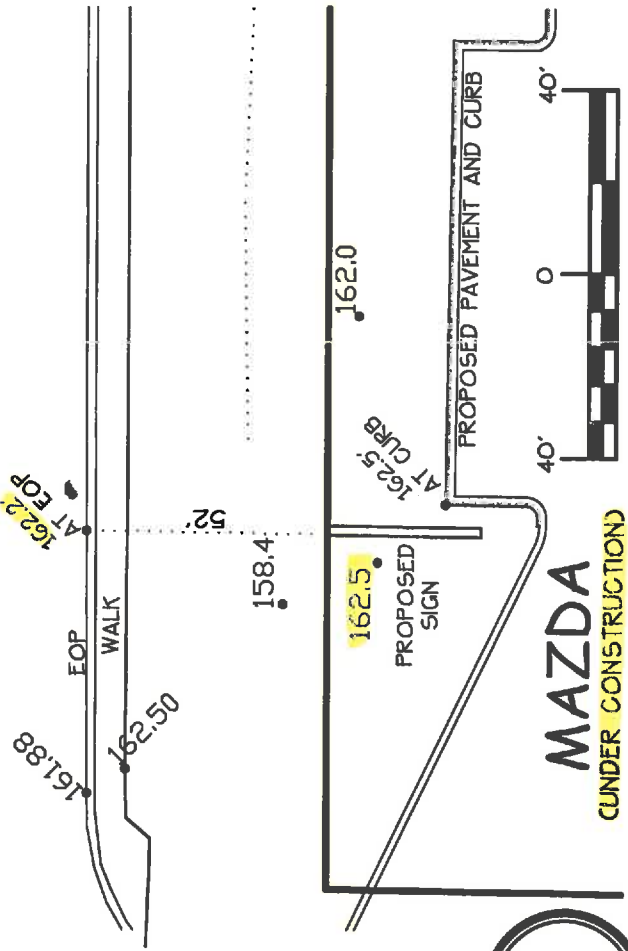
TOYOTA



CHEVROLET
UNDER CONSTRUCTION

SR 50

SR 50



05/27/16

ELLIS SURVEYS LLC
Land Surveying & Planning
P.O. Box 160952
Altamonte Springs, FL 32716
Florida License #18-7975
P. 407-834-4003 F. 407-869-5445
www.ellisurveys.com



Base of sign elevation	= 122.5
Top of sign elevation	= 142.5
S.R. 50 elevation	= 126.35
Height of sign measured from road to top of sign	= 16.15'



ELLIS SURVEYS LLC
Land surveying & Planning
 P.O. Box 160952
 Altamonte Springs, FL 32716
 Florida Licensed Business LB-7970
 P. 407-834-4003 F. 407-869-5445
www.ellisurveys.com

05/17/16

ELLIS SURVEYS LLC
Land Surveying & Planning
P.O. Box 160952
Altamonte Springs, FL 32716
Florida Licensed Business License 13-7970
P. 407-834-4003 F. 407-869-5445
www.ellisurveys.com

1.3 MILES ±

2,400' ±

161.88

162.2

AT EOP

162.31

162.60

162.10

158.22

157.94

158.4

162.5

PROPOSED SIGN

AT CURB

162.0

PROPOSED PAVEMENT AND CURB

40'

0

40'

MAZDA
CUNDER CONSTRUCTION

EOP

WALK

162.50

LEGAL NOTICE

Notice is hereby given that the City Council of the City of Clermont will consider a request for the following Variances: 1) To allow a monument sign to exceed 10 feet in height – as required by Section 102-15 of the LDC; and 2) To allow a monument sign to exceed 60 square feet in copy area – as required by Section 102-15 of the LDC, at the following location:

LOCATION

Headquarter Honda
17700 E. Highway 50

A complete legal description may be obtained in the Development Services Department located at 685 West Montrose Street, Clermont, FL 34711.

This request will be heard by the City Council at a public hearing to be held on Tuesday, July 12, 2016 at 6:30 P.M. in the Clermont City Hall located at 685 West Montrose Street.

All interested parties will be given an opportunity to express their views on this matter.

Please be advised that, under State law, if you should decide to appeal a decision made with respect to this matter, you will need a record of the proceedings, and may need to ensure that a verbatim record is made.

Tracy Ackroyd Howe
City Clerk, MMC

Daily Commercial
July 5, 2016



CITY OF CLERMONT

AGENDA ITEM

Page 1 of 1

Meeting Date		
Tuesday, July 12, 2016		
Agenda Item Name		
Ordinance No. 2016-34 <i>Introduction</i>		
Requested Action		
Recommend introduction of Ordinance 2016-34.		
Staff Report		
The attached ordinance provides for changes to the City Code to allow the City Council to appoint a Special Magistrate for code enforcement.		
Additional Analysis		
Fiscal Impact Summary		
Fiscal Impact	Fund Number and Description	Available Budget Amount
Exhibits Attached (copies of original agreements)		
1. Ordinance 2016-34 Special Magistrate w strikes.doc		

CITY OF CLERMONT
ORDINANCE No. 2016-34

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF CLERMONT, LAKE COUNTY, FLORIDA, AMENDING ARTICLE V, "CODE ENFORCEMENT", DIVISION 1, "GENERALLY", SECTION 2-186 "INTENT OF ARTICLE", PROVIDING THAT THE CITY COUNCIL SHALL APPOINT A CODE ENFORCEMENT SPECIAL MAGISTRATE; DELETING SECTION 2-187 "DEFINITIONS"; RENUMBERING AND AMENDING SECTION 2-188 "ALTERNATE CODE ENFORCEMENT SYSTEM"; RENUMBERING SECTION 2-189 "SUPPLEMENTAL ENFORCEMENT"; DELETING SECTION 2-190 "SPECIAL MASTER" AND AMENDING DIVISION II, "CODE ENFORCEMENT BOARD", SECTION 2-206, "CREATED; JURISDICTION; ENFORCEMENT BY COURTS"; AMENDING SECTION 2-207, "COMPOSITION; APPOINTMENT; TERMS OF MEMBERS"; DELETING SECTION 2-208, "APPOINTMENT OF MEMBERS"; DELETING SECTION 2-209, "RESIDENCY REQUIREMENTS; VACANCIES; FILLING OF VACANCIES; COMPOSITION"; DELETING SECTION 2-210, "OATH OF OFFICE"; DELETING SECTION 2-211, "ORGANIZATION; QUORUM; COMPENSATION"; AND AMENDING SECTION 2-212, "COUNSEL NAMED"; DELETING SECTION 2-213 "CONFLICT OF INTEREST"; DELETING SECTION 2-214 "POWERS OF THE CODE ENFORCEMENT BOARD"; PROVIDING FOR CODIFICATION, SEVERABILITY, CONFLICT AND EFFECTIVE DATE.

NOW, THEREFORE, be it ordained by the City Council of the City of Clermont, Lake County, Florida, as follows:

SECTION 1

Article V, "Code Enforcement", Division 1, "Generally", Sections 2-186 – 190 are hereby amended to read as follows: (note strikethrough indicates removed words and underlined indicates added)

Section 2-186 Intent of Article.

It is the intent of this Article to appoint ~~create~~ a Municipal Code Enforcement Special Magistrate ~~board~~ with the authority to impose administrative fines and other noncriminal penalties to promote, protect, and improve the health, safety, and welfare of the City and to provide an equitable, expeditious, effective, and an inexpensive method of enforcing any of the City's Codes and Ordinances in force where a pending of repeated violation exists or continues to exist. This Article has been enacted pursuant to the authority of Florida Statute Chapter 162.

CITY OF CLERMONT
ORDINANCE No. 2016-34

~~Section 2-187~~—Definitions.

~~The following words, terms and phrases, when used in this article, shall have the meanings ascribed to them in this section, except where the context clearly indicates a different meaning:~~

~~Code means any of the several chapters of the city Code or its ordinances on zoning and development regulations or any other codes or technical codes of the city.~~

~~Code enforcement board means the city code enforcement board appointed by the city council.~~

~~Code enforcement board secretary means the city clerk or his designee.~~

~~Code inspector means any authorized agent or employee of the city whose duty it is to ensure code compliance.~~

~~Legal counsel means the city attorney who shall represent the code enforcement board.~~

~~Repeat violation means a violation of a provision of a code or ordinance by persons whom the code enforcement board has previously found to have violated the same provision within five years prior to the violations.~~

~~Violator means the property owner or business entity of the premises, or any combination thereof.~~

~~Section 2-188~~ 187 Alternate Code Enforcement System.

The City hereby adopts an alternate code enforcement system which gives the Code Enforcement Special Magistrate ~~boards~~ appointed by the City Council the authority to hold hearings and assess fines against violators of the City Codes and Ordinances.

~~Section 2-189~~ 188 Supplemental Enforcement.

Nothing contained in this Article shall prohibit the City from enforcing its codes by any other means.

CITY OF CLERMONT
ORDINANCE No. 2016-34

~~Section 2-190 ——— Special Master.~~

~~The powers and duties of a special master, if a special master is appointed by the city council, shall be the same as that provided in this article for the code enforcement board.~~

SECTION 2.

Article V, “Code Enforcement”, Division II, “Code Enforcement Board”, Sections 2-206-2-012 are hereby amended to read as follows: (note strikethrough indicates removed words and underlined indicates added)

Section 2-206 Created; Jurisdiction; Powers and Duties; Enforcement by Courts.

- (a) There is hereby created a municipal Code Enforcement Special Magistrate board pursuant to Florida Statutes Chapter 162.
- (b) The City Code Enforcement Special Magistrate board shall have jurisdiction to hear and decide cases in which violations are alleged of any provisions of the City Code and its ordinances.
- (c) The Code Enforcement Special Magistrate shall have all of the powers and duties granted under Florida Statute Chapter 162; as amended. The City hereby adopts such provision by reference as if set out fully herein.
- (d) Any alleged violations of such Code and Ordinances may also be enforced in any court of competent jurisdiction.
- (e) Wherever any Ordinance or provision of the City Code or the City Land Development Code shall reference the Code Enforcement Board, it shall be deemed to reference and apply to the Code Enforcement Special Magistrate as created herein.

Section 2-207 ~~Composition; appointment; terms of members~~ Appointment and Qualifications.

The Code Enforcement Special Magistrate shall be appointed by the City Council, shall be a member in good standing of The Florida Bar, and shall have such other qualifications as the Council may determine. ~~The city code enforcement board shall~~

CITY OF CLERMONT
ORDINANCE No. 2016-34

~~consist of seven members and two alternate members, each to be appointed by the city council for a term of three years.~~

Section 2-~~212-208~~ Counsel Named.

The City Attorney shall serve as counsel to the City in all matters before the Code Enforcement Special Magistrate ~~board~~.

~~Section 2-208 -- Appointments of Members.~~

~~Appointments shall be made in accordance with applicable law and ordinances on the basis of experience or interest in subject matter jurisdiction of the respected code enforcement board. A member may be reappointed by a majority of the city council. Appointments to fill a vacancy shall be for the remainder of the unexpired term of office.~~

~~Section 2-209. -- Residency requirements; vacancies; filling of vacancies; composition.~~

~~Members of the code enforcement board shall be residents of the city at the time of their appointments and throughout their terms of office. Any member who is no longer a resident of the city shall be automatically removed and the vacancy filled as provided in section 2-208. The members shall serve in accordance with this article and consistent with the requirements, if any, of the Charter and other Code sections. If any code enforcement board member fails to attend any two of three consecutive meetings, without prior approval of the chairperson of the code enforcement board, the board shall declare the member's office vacant and the vacancy filled as provided in section 2-208. Appointments shall be consistent with the Charter on the basis of demonstrated experience and interest in the fields of zoning and building control. The membership of the code enforcement board shall, whenever possible, include an architect, a businessperson, an engineer, a general contractor, a subcontractor and a realtor.~~

~~Section 2-210. -- Oath of office.~~

~~Each member of the code enforcement board, upon appointment, shall, before entering upon the discharge of his duties of office, take an oath of office.~~

~~Section 2-211. -- Organization; quorum; compensation.~~

- ~~(a) The members of the code enforcement board shall elect a chairperson from among its members. The chairperson shall be allowed to vote on all matters appearing before the board.~~

CITY OF CLERMONT
ORDINANCE No. 2016-34

- ~~(b) The members of the code enforcement board shall elect a vice chairperson from among its members. The vice chairperson shall preside over the public hearing in absence of the chairman.~~
- ~~(c) The presence of four or more members shall constitute a quorum.~~
- ~~(d) Members shall not be entitled to compensation; however, all members shall receive the reimbursement for mileage for any board related business, except travel to and from regularly scheduled and specially called board meetings. Such reimbursement shall be consistent with city policy.~~
- ~~(e) The board may adopt such rules and regulations as are not inconsistent with the provisions of this article or F.S. Ch. 162, which rules and regulations the board finds necessary to carry out the provision of this article, subject to approval by the city council.~~

~~Section 2-213.— Conflict of interest.~~

~~Conflict of interest provisions shall apply to members of the code enforcement board pursuant to F.S. §§ 112.3143 and 286.012.~~

~~Sec. 2-214.— Powers of the code enforcement board.~~

~~The code enforcement board shall have the power to:~~

- ~~(1) Adopt rules for the conduct of its hearings.~~
- ~~(2) Subpoena alleged violators and witnesses to its hearings. Subpoenas may be served by the police department of the city.~~
- ~~(3) Subpoena evidence to its hearings.~~
- ~~(4) Take testimony under oath.~~
- ~~(5) Issue an order having the force of law commanding whatever steps are necessary to bring the violation into compliance.~~

SECTION 3 Codification.

The text of Sections 1 and 2 of this Ordinance shall be codified as a part of the Clermont City Code. The codifier is authorized to make editorial changes not effecting the substance of this Ordinance by the substitution of "Article" for "Ordinance", "Section" for "Paragraph", or otherwise to take such editorial license.

CITY OF CLERMONT
ORDINANCE No. 2016-34

SECTION 4 Severability.

It is declared to be the intent of the City Council that, if any Section, Subsection, Sentence, Clause, Phrase, or portion of this Ordinance is for any reason held invalid or unconstitutional by a court of competent jurisdiction, such portion shall be deemed a separate, distinct and independent provision, and such holding shall not affect the validity of the remaining portions hereof.

SECTION 5 Conflict and Repeal.

Any portion of the City Code, the City Land Development Code or any ordinance or resolution or part thereof in conflict with this Ordinance is hereby repealed to the extent of such conflict.

SECTION 6 Effective Date.

This Ordinance shall be published as provided by law and shall become law and shall take effect as of July 26, 2016

CITY OF CLERMONT
ORDINANCE No. 2016-34

PASSED AND ADOPTED by the City Council of the City of Clermont, this 26th day of July, 2016.

CITY OF CLERMONT

Gail L. Ash, Mayor

ATTEST:

Tracy Ackroyd Howe, City Clerk

Approved as to form and legality:

Daniel F. Mantzaris, City Attorney