



**CITY OF CLERMONT
PLANNING AND ZONING COMMISSION AGENDA
LOCATION: CLERMONT CITY HALL
685 WEST MONTROSE STREET
6:30 PM, Tuesday, March 3, 2026**

CALL TO ORDER

PLEDGE OF ALLEGIANCE

MINUTES

Approval of the February 3, 2026 Planning and Zoning Commission meeting minutes

REPORTS

NEW BUSINESS

Item 1 - Resolution 2026-005R
Salt Shack on the Lake

Consider a request for a Conditional Use Permit to amend 2023-011R to include an additional outdoor seating area towards the north side of the Salt Shack on the Lake restaurant.

Item 2 - Ordinance No. 2026-013
Certified Recovery Residences

Consider the proposed ordinance to allow for the amendment of the Land Development Code, Chapter 125 - Zoning.

DISCUSSION OF NON-AGENDA ITEMS

ADJOURN

Any person wishing to appeal any decision made by the Planning and Zoning Commission at this meeting will need a record of the proceedings. For that purpose, such person may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is based.

In accordance with the Americans with Disabilities Act (ADA), if any person with a disability as defined by the ADA needs special accommodation to participate in this proceeding, then not later than two (2) business days prior to the proceeding, he or she should contact Development Services at (352) 241-7335.

Please be advised that if you intend to show any document, picture, video or items to the Board in support or opposition to any item on the agenda, a copy of the document, picture, video or item must be provided to the Clerk for the City's records.

**CITY OF CLERMONT
PLANNING AND ZONING COMMISSION
MINUTES
FEBRUARY 3, 2026**

CALL TO ORDER

Chair Colby called the meeting of the Planning and Zoning Commission to order on Tuesday, February 3, 2026, at 6:30 p.m.

MEMBERS PRESENT: Chair Colby, Vice-Chair Niemiec, Commissioner Tidona, Commissioner May, Commissioner Cramer, and Commissioner Hoisington

MEMBERS ABSENT: Commissioner Entsua

ALSO PRESENT: Development Services Director Curt Henschel, Planner I Justine Day, City Attorney Waugh, and Planning Coordinator Rae Chidlow

PLEDGE OF ALLEGIANCE

MINUTES

MOTION TO APPROVE the January 6, 2026, Minutes of the Planning and Zoning Commission meeting as amended, made by Commissioner Cramer, seconded by Commissioner Hoisington. Motion passed 6-0.

NEW BUSINESS

Item No. 1 – Ordinance No. 2026-004 – Perimeter Park West III Small-scale Comprehensive Plan

Item No. 2 – Ordinance No. 2026-005 – Perimeter Park West III Rezoning

Development Services Director Curt Henschel presented as follows:

The applicant is requesting a voluntary annexation, a small-scale comprehensive plan amendment, and a rezoning on the subject parcel for the purpose of developing an industrial park. The property, approximately 12 acres, is located ¼ mile south on Ray Goodgame Parkway from the SR 50 intersection. Due to annexation requests being required to be presented to the City Council for consideration, both the small-scale comprehensive plan amendment and rezoning requests are being presented with the understanding that both applications would be considered concurrently with the annexation request in the near future.

The applicant proposes to amend the future land use map and rezone the property from Lake County's designations to the city's industrial future land use and Planned Unit Development district to develop the property as the third phase of Perimeter Park Industrial Park. The uses of this phase will be similar to the previous phases in that permitted M-1 Industrial uses shall be permitted, with the exception of no automotive, truck, trailer, motorcycle or boat repairs, sales, or leasing shall be conducted on-site.

The proposed Planned Unit Development ordinance will be required to be consistent with the applicant's conceptual plan along with the city's Land Development Codes. The conceptual plan includes approximately 185,000 square feet of industrial/warehouse space distributed across three buildings. A 100-foot right-of-way dedication associated with the planned expansion of Hooks Street will also be required. Due to physical site constraints of a relic depressional feature in the middle of the site, waivers will be required for cut/fill. The maximum fill is up to 36 feet over 11% of the site and maximum cut is up to 25 feet over 15% of the site.

The city traffic engineer reviewed the traffic study exemption request and, due to the low traffic generation and the established left turn lanes on Hartle Road, concur with granting a Tier 1 Exemption.

The change in future land use to the City's Industrial category does not propose a conflict between the existing uses and land uses within the area. The proposed future land use is consistent with the City's Comprehensive Plan and its goals, objectives and policies. The Planned Unit Development zoning does not propose a conflict with the existing uses and land uses in the area. The proposed use is compatible with the adjoining properties as required by the comprehensive plan. Therefore, staff recommends approval of Ordinance No. 2026-004 and Ordinance No. 2026-005.

Rebecca Wilson, 215 N. Eola Dr., Orlando, stated that she as well as her team were present to answer any questions.

The floor was opened for public comments.

With no other speakers present, the floor was closed.

Commissioner Tidona raised concerns about Phase Three of a warehouse project citing rapid growth and overdevelopment in the area. He referring to historical images from Google Maps and GIS data (2017–2025), stating that the site has become saturated and questioned the addition of a 183,000-sf. warehouse and increased vehicle traffic near Ray Goodgame Parkway and Hartle Road. His concerns included truck congestion, left-turn backups, school bus traffic, unclear warehouse operations, and potential safety risks. He advocated mandatory third-party traffic studies for developments in Clermont.

Commissioner May thanked staff for providing a traffic study exemption letter and sought clarification on projected trip counts, confirming that the additional trips from Phase Three, combined with prior warehouse approvals, still qualified as low impact and exempt. She raised questions about the discrepancy between the proposed 165,168 square feet and the allowed 185,000 square feet, with the applicant explaining the extra square footage allowed flexibility for final engineering. She disclosed a personal site visit and clarified that the property is being rezoned from agricultural in the county to a Planned Unit Development (PUD) with M1 industrial use within the city, mirroring prior approvals. Additional discussion covered environmental conditions, including a forthcoming tree survey, updating the project's construction commencement deadline from three years to two to match current ordinance

standards, confirmation that signage regulations align with existing code, standard reimbursement practices for fiber optic infrastructure, and right-of-way requirements. She expressed general caution about converting agricultural land to industrial use and noting that under Florida's Live Local Act, nonresidential properties could allow residential development if plans changed. She voiced support for the project moving forward.

Ms. Wilson clarified that all they could fit on the conceptual plan was 165,168 sf., but engineering is not complete at this time, so they wanted flexibility to allow up to 185,000 square feet.

Commissioner Niemiec questioned if Lake County owned the property, or who owned the property.

Ms. Wilson stated that the property is owned privately.

Commissioner Cramer sought clarification on long-term compatibility and enforcement. He has concerns regarding the traffic under the tier one exemption.

Planning Director Curt Henschel confirmed that even if the site were developed to the maximum 185,000 sf., it is allowed under the industrial designation and is compatible with the surrounding uses. He stated that the PUD conditions would run with the land and remain enforceable if the property sold or developed in phases and if any increase in intensity would require an amendment to the PUD.

Commissioner Hoisington asked for more details about a previously mentioned sinkhole on the project site. She expressed concern about whether additional construction over or near the sinkhole could trigger further ground instability or new sinkholes, referencing instances where roads have collapsed amid heavy development.

Mr. Henschel explained that the property contains an old depressional area identified as a former sinkhole, visible by its mature tree growth, and that this condition is the reason the applicant is requesting cut-and-fill work to stabilize the parcel. He stated that while no one can predict future sinkhole activity with certainty, the developer will be required to conduct extensive geotechnical testing and site stabilization measures to ensure the land is safe and structurally sound before building proceeds.

Chair Colby stated that all his questions have been addressed.

MOTION TO RECOMMEND APPROVAL of Ordinance No. 2026-004 Perimeter Park West III Small-scale Comprehensive Plan Amendment; Moved by Commissioner Cramer, Seconded by Commissioner Hoisington. Motion passed 4-2.

MOTION TO RECOMMEND APPROVAL of Ordinance No. 2026-005 Perimeter Park West III Rezoning adding a tree study; Moved by Commissioner Cramer, Seconded by Commissioner Hoisington. Motion passed 4-2.

Item No. 1 – Ordinance No. 2026-009 – Hartle Road Subdivision Small-scale Comprehensive Plan

Item No. 2 – Ordinance No. 2026-010 – Hartle Road Subdivision Rezoning

Planner I Justine Day presented as follows:

Tara Tedrow, as the applicant’s representative, is requesting annexation, a small-scale comprehensive plan amendment, and a rezoning on the subject parcels for the purpose of developing a new subdivision served by the City’s utilities. The property is located a ¼ mile south of the Ray Goodgame Parkway and Hartle Road intersection and is approximately 10.41 +/- acres. Due to annexation requests being required to be presented to the City Council for consideration, both the small-scale comprehensive plan amendment and rezoning requests are being presented with the understanding that both applications would be considered concurrently with the annexation request in the near future.

The property is undeveloped and surrounded by properties consisting of existing residential development with lower density located on the north and east side of the subject parcel that then transitions to a higher density residential subdivision to the south.

The applicant is proposing to amend the future land use map and rezone the property from Lake County’s Designations to the City’s Low Density Residential category and R-2 Medium Density Residential district. The proposed density is estimated to be at 2.40 dwelling units per acre for a potential of twenty-five (25) single-family residential dwelling units. No variances to the City code are being requested as the applicant is willing to comply with the City’s Codes in order to develop the property.

A concept plan has been provided in order to show the potential of the site with the understanding that this is just an option in terms of layout and that the site plan will be reviewed and abide by the City’s codes prior to approval.

The change in the future land use to the City’s Low Density Residential category does not propose a conflict between the existing uses and land uses within the area. The proposed future land use is consistent with the City’s Comprehensive Plan and its goals, objectives and policies. The R-2 zoning does not propose a conflict to the existing uses and land uses in the area. The proposed use is compatible with the adjoining properties as required by the comprehensive plan. Therefore, staff recommends approval of Ordinance No. 2026-009 and Ordinance No. 2026-010.

Rebecca Wilson, 215 N. Eola Dr., Orlando, stated that this is a down zoning going from 4 units per acre in the county to 2.4 units per acre in the city.

*The floor was opened for public comments.
With no other speakers present, the floor was closed.*

Commissioner Hoisington raised concerns about the traffic impact of a proposed 25-unit residential development.

Ms. Wilson explained that because the project represents a reduction in density compared to what is otherwise allowed, a full traffic study was not required. Instead, the site plan includes projected average daily trips of 281. She further noted that if the property were developed under county standards, up to 40 units could be built, which would generate more traffic than the 25 units currently proposed.

Commissioner Cramer asked staff whether approving the proposed rezoning for a 25-lot residential development along Hartle Road could create expectations or set a precedent for similar entitlements in the corridor.

Planning Director Curt Henschel responded that there are few remaining parcels of comparable size and that any property owner already has the right to pursue development, so approval would not necessarily trigger new proposals beyond what may already be contemplated.

Commissioner Cramer asked whether the rezoning would allow housing types or intensities significantly different from surrounding neighborhoods.

Ms. Wilson explained that the site is buffered by industrial development and stormwater areas to the west, a fire station to the north, and unincorporated county land with estate-style homes to the east. She stated that while the proposed lot sizes are generally consistent with other nearby, more recently developed neighborhoods, though some lakefront homes in the area are older and of a different character.

Commissioner Niemiec asked the applicant to clarify lot dimensions shown on the concept plan, noting difficulty reading the document. The commissioner confirmed that the proposal would not exceed 25 dwellings and asked about the largest and smallest lot sizes.

Ms. Wilson explained that the plan is conceptual but confirmed that lot widths would be 75 feet, consistent with R-2 zoning standards, and that 9,000 square feet would be the typical lot size and the development would consist of 25 dwellings.

Commissioner May disclosed visiting the site and described Hartle Road as a constrained two-lane roadway surrounded by larger-lot homes and multiple subdivisions with limited connectivity. She expressed concerns about compatibility and access. She questioned the proposed rezoning from county agricultural and low-density/regional office designations to city R-2, asking why R-1 was not pursued instead.

Mr. Henschel explained that it was the request of the applicant.

Ms. Wilson stated that R-2 better aligns with the requested density reduction to approximately 2.5 units per acre, down from 4 units per acre allowed under the county and provides a transition between nearby lakefront residential and adjacent industrial uses along Ray Goodgame Parkway.

Commissioner May also expressed concern that R-2 zoning could allow duplexes.

Mr. Henschel clarified that the comprehensive plan's low-density designation limits development to single-family detached homes, effectively precluding duplexes.

Commissioner May added concerns were raised about the lack of a tree survey, landscaping details, amenities, and the reliance on stormwater areas to meet open space requirements. Mr. Henschel confirmed that a tree survey and related environmental requirements will be addressed during the development review process.

Ms. Wilson stated that the project meets open space standards, though amenities are limited due to the site's small size.

Commissioner Tidona compared the proposal to a previously debated townhome project, expressing concern that traffic impacts are being minimized despite the site's location along Hartle Road, which was described as effectively a long dead-end with limited connectivity and a single point of entry and exit. He warned that adding 50 to 150 more vehicles, especially if combined with nearby industrial development, would worsen congestion at an already constrained bottleneck. He questioned why a traffic study is not required in what they consider an overdeveloped and saturated area, and limited usable open space, and lack of meaningful amenities beyond stormwater areas, suggesting alternative placement for walkable green space.

Commissioner Niemiec sought clarification on lot widths shown on the concept plan, noting some measurements appeared below 75 feet.

Mr. Henschel explained that 75 feet is the minimum required at the building setback under city code.

MOTION TO RECOMMEND APPROVAL of Ordinance No. 2026-009 Hartle Road Subdivision Small-scale Comprehensive Plan Amendment; Moved by Commissioner Cramer, Seconded by Commissioner Hoisington. Motion passed 4-2.

MOTION TO RECOMMEND APPROVAL of Ordinance No. 2026-010 Hartle Road Subdivision Rezoning; Moved by Commissioner Cramer, Seconded by Commissioner Hoisington. Motion passed 4-2.

TRAINING

City Attorney Christian Waugh presented the orientation and training presentation.

Deputy City Manager Dan Matthys presented the role of the Planning Commissioners.

Economic Director Nathan Norris explained the Charrette Schedule coming up.

REPORTS

Commissioner Tidona attended the Lake County Comprehensive Plan update presentation on January 15. While the presentation provided a high-level overview, it lacked detailed answers. A

key point of concern was that 1,549 survey responses were received, mostly from students, whose priorities focused on conservation, parks, nature trails, and preserving Lake County's rural character. Some audience members expressed concern that more input should have been gathered from homeowners and working residents. He shared articles with the Clermont City Council and the Lake County Board of County Commissioners highlighting research that shows a direct link between tree density and improved mental rest and focus. He referenced the 3-30-300 rule, supported by a study from the Barcelona Institute for Global Health, which recommends being able to see three trees from your home, living in a neighborhood with at least 30% tree canopy (trees 60 feet or taller), and being within 300 meters (about 1,000 feet) of a small park or forest. He consulted contacts at the Florida Department of Transportation about pedestrian and cyclist safety improvements. He shared information about proven safety countermeasures, potential grant opportunities for bike lanes and crossings, and the state's Complete Streets initiative, which promotes roadways designed for all users. He stated that the District 5 coordinator, James L. Rodriguez, expressed willingness to assist with evaluating projects affecting state roads within a three-mile radius. He stated this outreach is especially timely given the proposed Lake Yale development, which could add 1,400–1,600 homes and nearly 6,000 vehicles to CR452, a road with limited access. He emphasized that early coordination could help ensure developers contribute to necessary road and infrastructure upgrades.

Commissioner May had no reports.

Vice-Chair Niemiec thank staff for providing larger site plans.

Commissioner Cramer had no reports.

Commissioner Hoisington had no reports.

Chair Colby had no reports.

DISCUSSION OF NON-AGENDA ITEMS

There were no discussions about non-agenda items.


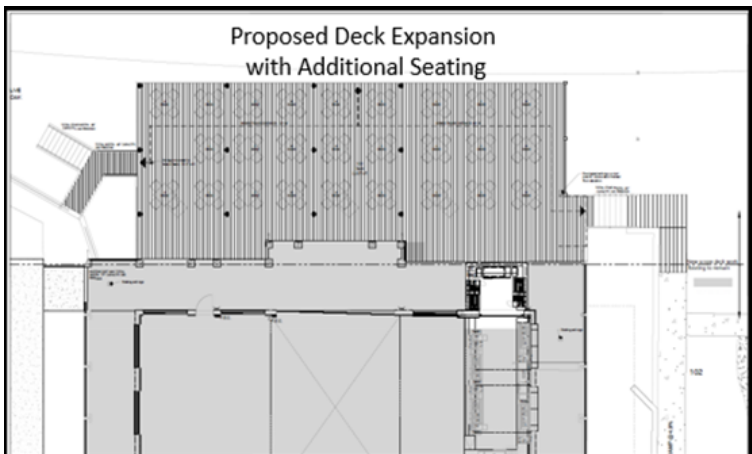
ADJOURNMENT – 8:25 pm

Chair Colby

ATTEST:

Rae Chidlow

AGENDA ITEM

Meeting Date	
Tuesday, March 3, 2026	
Agenda Item Name	
Resolution 2026-005R <i>Salt Shack on the Lake</i>	
Requested Action	
Recommend approval of Resolution 2026-005R.	
Staff Report	
<p>The applicant, Jimmy Crawford, Esq., is requesting a Conditional Use Permit (CUP) amendment to revise the site plan in Resolution 2023-011R to include the expansion of the restaurant deck and an additional outdoor seating area on the north side of the Salt Shack on the Lake restaurant, located in the CBD Central Business District. The property is located at 846 West Osceola Street, formerly known as Lilly's on the Lake.</p> <p>The proposed amendment includes an enlarged deck footprint and the addition of new outdoor seating to accommodate increased dining capacity. With the addition of seating, staff has included an updated condition in the revised resolution requiring that any additional parking demand generated by the expanded seating area be satisfied through payment into the City's Parking Fund, as allowed under 115-14 (c)(2) of the Land Development Code. This payment must be made prior to approval of the Site Review application. The current cost per space in the parking fund is \$3,000, as approved by City Council. If this is increased prior to the time of site plan approval, then the applicant would be responsible for paying the new fee. Based upon the anticipated additional seating of 104 seats, the parking requirements would be one space for every 8 seats. This would equate to 13 spaces and a payment of \$39,000 into the parking fund at the current rate.</p>	
<div style="display: flex; justify-content: space-around;">   </div>	
<p>The project does not require approval from the City regarding lakefront impacts. The applicant has already secured permit approval for the proposed improvements from the St. Johns River Water Management District (SJRWMD).</p>	

The CUP amendment does not alter the approved use but modifies the configuration of the outdoor dining area to improve functionality and enhance customer experience. All other conditions of Resolution 2023-011R remain in effect.

The proposed increase in seating does not appear to be detrimental to the health, safety and welfare of the surrounding community. The City did receive a noise complaint in May of 2024. An investigation was conducted and it was found that the sound was a result of the mechanical equipment at the site. Sound compression blankets were installed on the exhaust fans and HVAC equipment in July of 2024. This reduced the sound decibels well below the City's sound decibel limits and no further complaints have been received.

When evaluating a request for a Conditional Use Permit, the Land Development Code, Section 101-212 requires specific development standards that are required to be met. Staff has reviewed the application as submitted in accordance with the development standards criteria and finds the proposed use can meet the general criteria for granting a Conditional Use Permit. The proposed use will not be detrimental to the health, safety and welfare of the surrounding community. Staff recommends approval of the Conditional Use Permit with the conditions contained in Resolution No. 2026-005R.

Additional Analysis	
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Fiscal Impact Summary	
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Fiscal Impact	Fund Number and Description	Available Budget Amount
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Exhibits Attached <small>(copies of original agreements)</small>	
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1. 2026-005R Salt Shack CUP (02.25.2026)	2026-005R Salt Shack CUP (02.25.2026) .pdf
2. Salt Shack Location Map	Salt Shack Location Map.pdf
3. Salt Shack-Arch-Clermont-8-26-25	Salt Shack-Arch-Clermont-8-26-25.pdf
4. Salt Shack SJRWMD Permit	Salt Shack SJRWMD Permit.pdf
5. Staff Analysis - Salt Shack CUP	Staff Analysis - Salt Shack CUP.pdf
6. CUP Application	CUP Application.pdf
7. Legal ad - Salt Shack PZ	Legal ad - Salt Shack PZ.pdf



CITY OF CLERMONT
RESOLUTION NO. 2026-005R

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CLERMONT, LAKE COUNTY, FLORIDA, GRANTING AN AMENDMENT TO CONDITIONAL USE PERMIT, RESOLUTION 2012-21, RESOLUTION 2022-003R AND RESOLUTION 2023-011R TO INCLUDE THE EXPANSION OF SEATING AREA WITHIN THE PROPERTY; PROVIDING FOR CONFLICT, SEVERABILITY, ADMINISTRATIVE CORRECTION OF SCRIVENERS ERROR, PUBLICATION AND AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission of the City of Clermont, Lake County, Florida at a meeting held March 3, 2026 recommended approval of this Conditional Use Permit Amendment; at the following location:

LOCATION:
846 & 848 West Osceola Street
Salt Shack
(AK 3784611 & 1616891)

WHEREAS, from the evidence presented at the public hearing and after consideration of the factors set forth in Sec. 86-144 (d) of the Land Development Code, the City Council finds, that: (1) granting the conditional use permit will not adversely affect the officially adopted comprehensive plan of the city; (2) Such use will not be detrimental to the health, safety or general welfare of persons residing or working in the vicinity; (3) The proposed use will comply with the regulations and conditions specified in the codes for such use; and (4) The proposed use may be considered desirable at the particular location.

WHEREAS, the City Council determines that the application for a conditional use permit meets the criteria set forth in the Land Development Code and otherwise it is in the interest of the general welfare of the City of Clermont, Lake County, Florida to grant this Conditional Use Permit.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Clermont, Lake County, Florida that based on the findings stated above and incorporated herein:

This application for a Conditional Use Permit Amendment, Resolution 2012-21, 2022-003R, and 2023-011R; be granted subject to the following conditions:

SECTION 1: GENERAL CONDITIONS

1. The conditions as set forth in this Conditional Use Permit shall be legally binding upon any heirs, assigns and successors in title or interest.
2. No further expansion of the use or additions to the facility shall be permitted except as approved by another Conditional Use Permit.



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3. No person, firm, corporation or entity shall erect, construct, enlarge, alter, repair, remove, improve, move, convert, or demolish any building or structure, or alter the land in any manner within the boundary of the project without first submitting necessary plans, obtaining necessary approvals, and obtaining necessary permits in accordance with the City of Clermont Land Development Regulations and those of other appropriate jurisdictional entities.
4. The Fire Inspector shall provide building inspections for life safety requirements and all fire code regulations must be in compliance prior to the issuance of any Building Certificate of Occupancy.
5. The Building Inspector shall inspect all structures and building for compliance and any building code violations shall be corrected before the issuance of the Certificate of Occupancy.
6. The Conditional Use Permit must be executed and processed through the office of the City Clerk within 90 days of its date of approval by the City Council or the permit shall become null and void.
7. The Applicant shall record in the Public Records of Lake County within 90 days of its date of approval by the City Council, a short-form version of this Conditional Use Permit as provided by the City or a form acceptable to the City, to provide notice to all interested parties, the assigns, successors and heirs of the developer/applicant and all future owners of the above-referenced property that the real property described above is subject to the terms and conditions of the Conditional Use Permit.
8. If any of the stated conditions are violated, the applicant understands and agrees that the City Council may open the Conditional Use Permit for further conditions or revoke this Conditional Use Permit by Resolution.
9. Should approved uses cease operation for more than 180 days, a new Conditional Use Permit shall be required for the same or similar operations.

SECTION 2: LAND USE

1. Permitted uses shall include a restaurant at 848 West Osceola St., as well as uses permitted with the CBD Central Business District. Additional uses, events and activities permitted in direct association with the restaurant operation may include the following:
 - a) Weddings, holiday parties, special event venues.
 - b) Live music (on the restaurant deck and outdoor area)
 - c) Public movie night and poetry night.
 - d) Contests – talent show, hot dog eating, competition hosting for Miss Clermont and Lake County, dancing, singing, music, karate, high school cheer/dance, sand castle, doggie dress-up parades, and similar functions.
 - e) Children playground area, beach volleyball, horseshoe, corn hole and similar activities.
 - f) Bicycle and water sport rental area, ice/vending machines and bait sales.



CITY OF CLERMONT
RESOLUTION NO. 2026-005R

2. In the event that the noise levels create a nuisance to the surrounding property owners, the City reserves the right to open the Conditional Use Permit for further review and additional conditions. Recurring documented complainants related to noise or other disturbances emanating from the operation shall be considered prima facie evidence of a violation of this provision. The owner shall be given written notice of such violations and shall have seven (7) days after receipt of such notice within which to demonstrate that adequate measures have been taken to alleviate the source of the disturbance which gave rise to the recurring complaints. If in the opinion of the City Manager, or designee, the disturbances have not been corrected, the owner will be scheduled for the next available City Council meeting to determine the appropriate action necessary to alleviate the disturbance, including any additional restrictions on the operation of the business deemed necessary to alleviate the complaints.
3. No outdoor music shall be allowed past 11:00 P.M. on Friday or Saturdays, and 10:00 P.M. Sunday thru Thursday.
4. No outdoor storage or display shall be permitted without obtaining City approvals in accordance with the Land Development Code.
5. The existing 4,040 square foot building (west of the restaurant) shall only be permitted for storage and a 150 square foot office space, directly associated with the restaurant use. Any warehouse rental operations or similar use shall not be permitted. No other uses shall be permitted without a Conditional Use Permit amendment. No signage shall be permitted on the existing 4,040 square foot building.
6. Prior to issuance of any building or site development permit for the expanded deck area and associated increase in seating capacity in Exhibit A, the applicant shall submit payment to the City's Parking Fund in an amount calculated at the rate in effect at the time of site plan approval. This contribution is required to offset the additional demand on public parking generated by the increased seating.
7. This Resolution will repeal and replace Resolution 2012-21, 2022-003R, and 2023-011R.

SECTION 3: CONFLICT

All resolutions or parts of resolutions in conflict with any of the provisions of this Resolution are hereby repealed.

SECTION 4: SEVERABILITY

If any portion of this Resolution is declared invalid, the invalidated portion shall be severed from the remainder of the Resolution, and the remainder of the Resolution shall continue in full force and effect as if enacted without the invalidated portion, except in cases where such continued validity of the remainder would clearly and without doubt contradict or frustrate the intent of the Resolution as a whole.



CITY OF CLERMONT
RESOLUTION NO. 2026-005R

SECTION 5: ADMINISTRATIVE CORRECTION

This Resolution may be re-numbered or re-lettered, and/or corrected for typographical and/or scrivener's errors which do not affect the intent of said resolution, as authorized by the City Manager or designee, without need of public hearing, by filing a corrected copy of same with the City Clerk.

SECTION 6: PUBLICATION AND EFFECTIVE DATE

This Resolution shall take effect immediately upon its adoption.



CITY OF CLERMONT
RESOLUTION NO. 2026-005R

DONE AND RESOLVED by the City Council of the City of Clermont, Lake County, Florida, this 24th day of March 2026.

CITY OF CLERMONT

Tim Murry, Mayor

ATTEST:

Tracy Ackroyd Howe, MMC
City Clerk

Approved as to form and legality:

Christian W. Waugh, City Attorney

Exhibit - Location Map – 846 W. Osceola Street

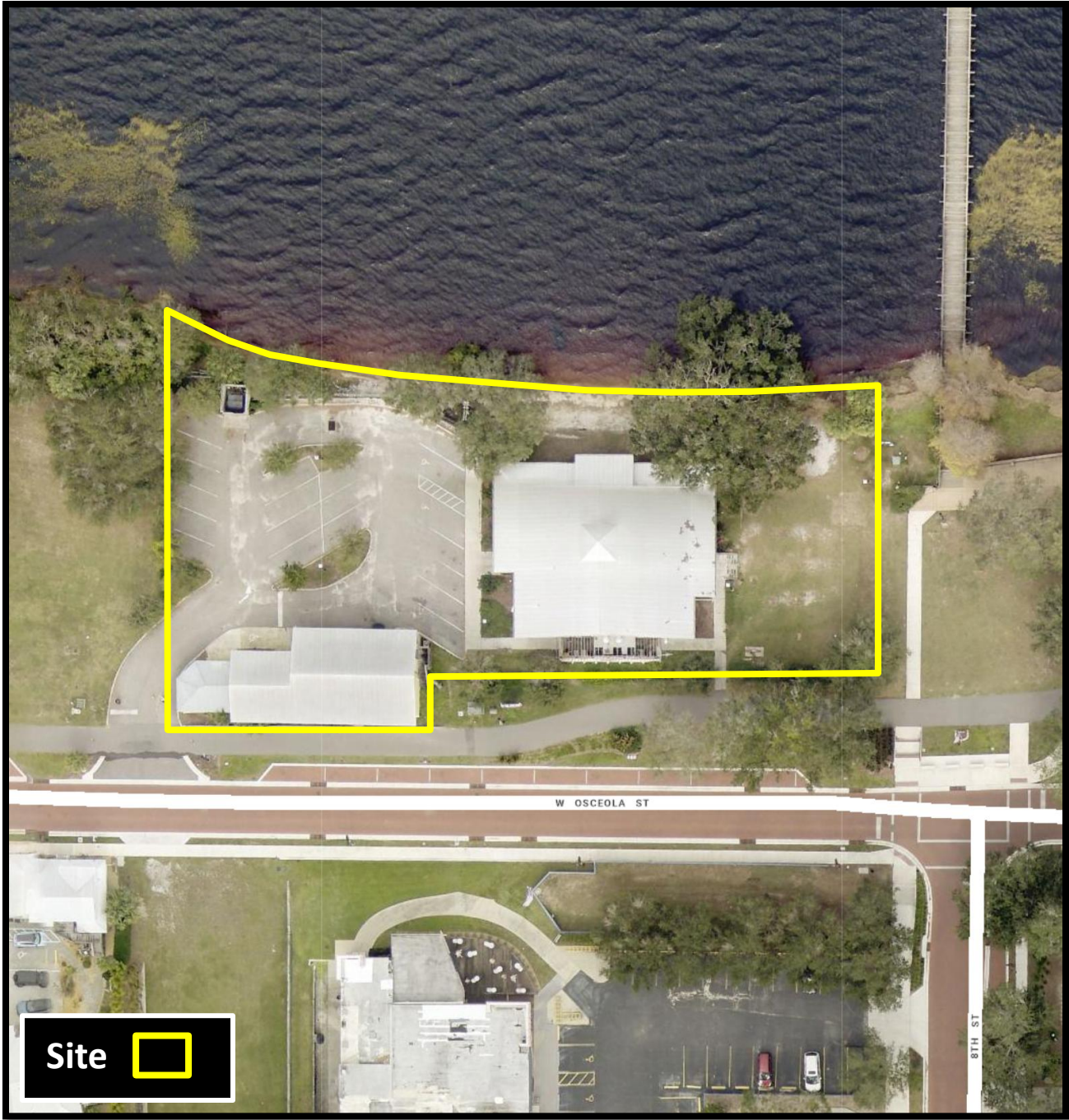


Exhibit - Location Map – 846 W. Osceola Street

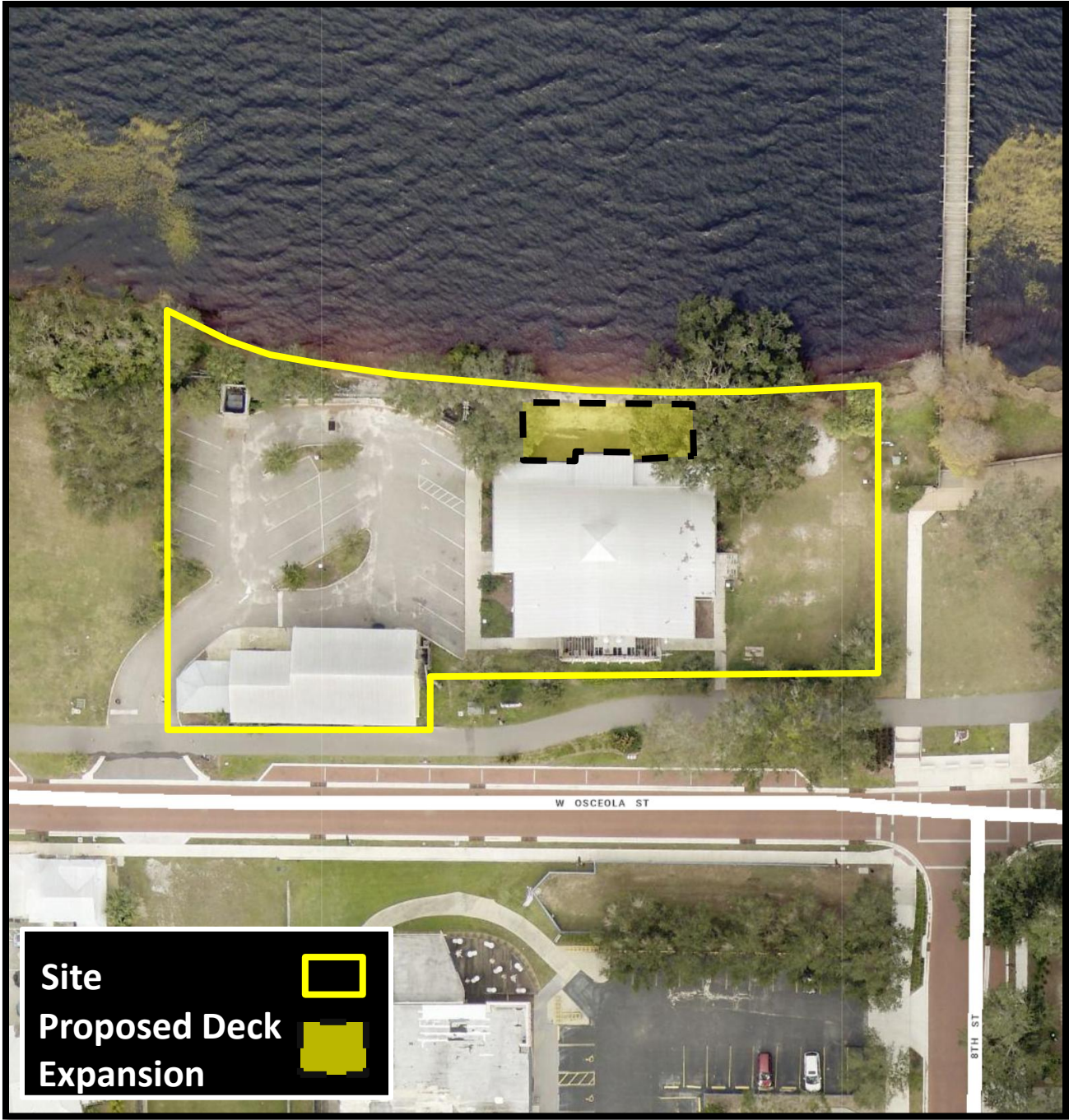
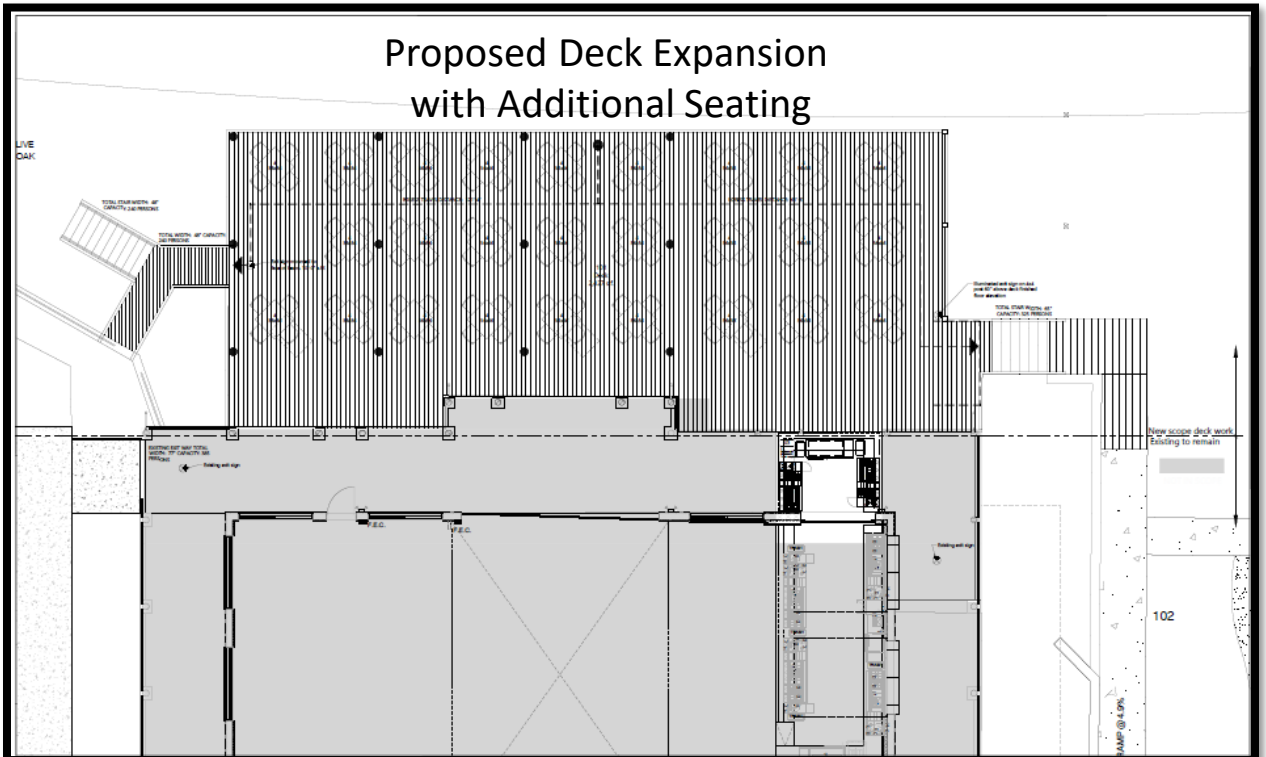
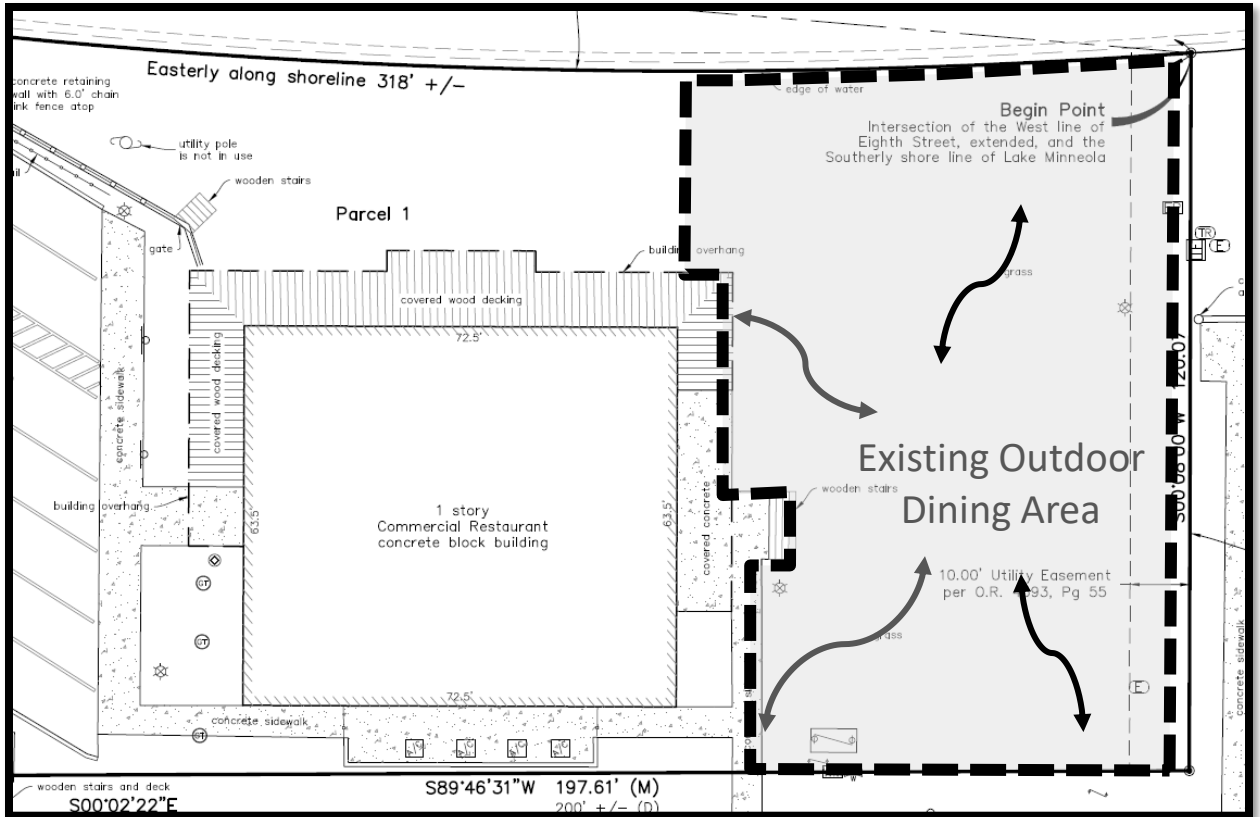


Exhibit – 846 W. Osceola Street





Exterior Renovation
848 W. Osceola Street
Clermont, Florida 34711



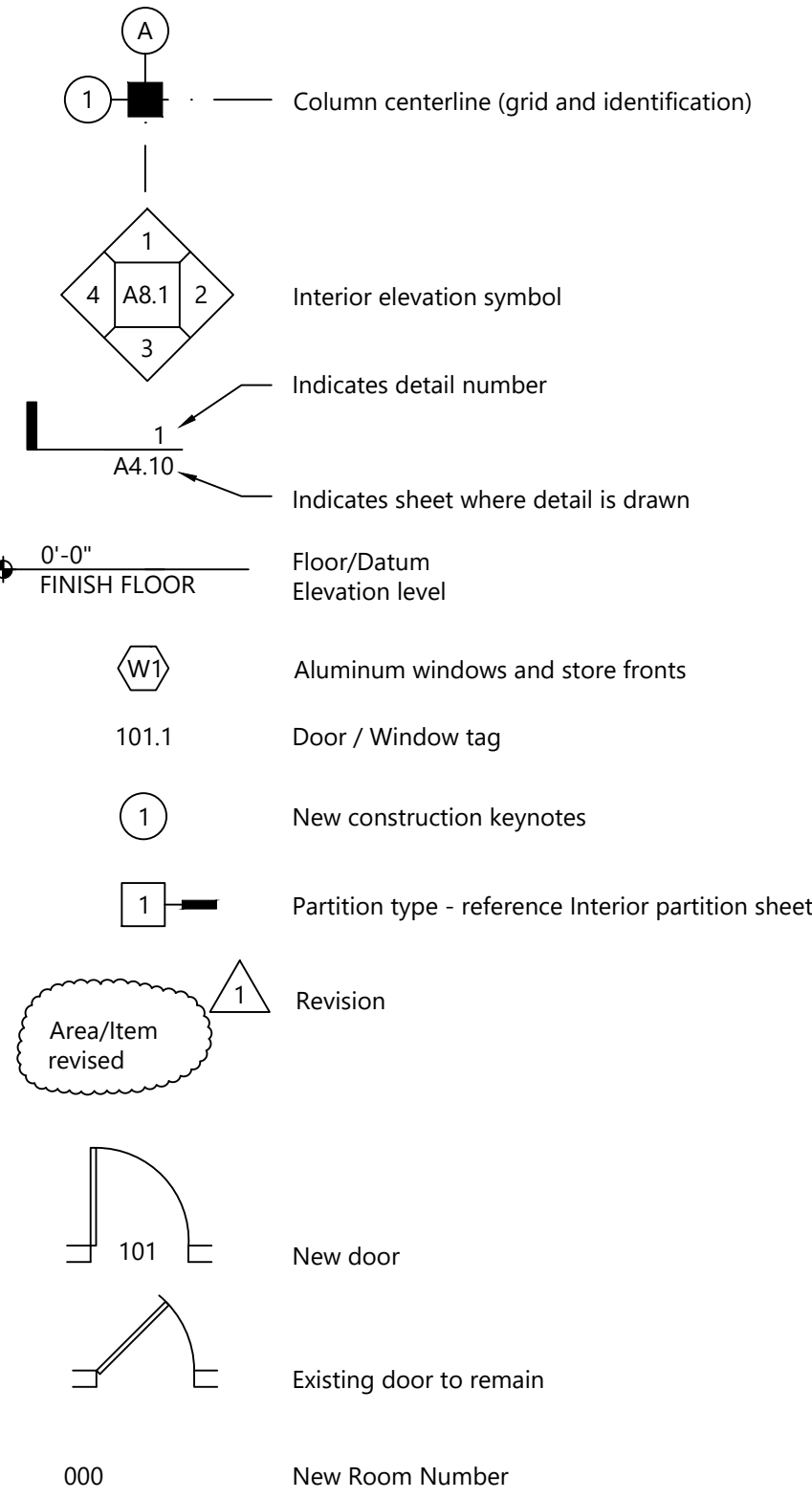
1305 East Knollwood Street
Tampa FL. 33604

Construction Documents
Project No. 07-0425
August 13, 2025

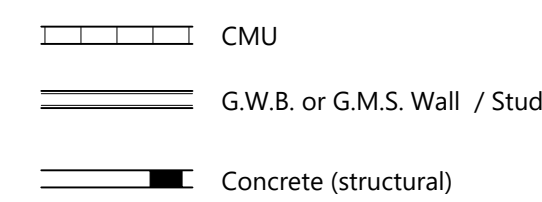
General Notes

- The intent of the contract documents is to allow for the performance of the work. All assemblies and accessories required for the execution of the work, though not detailed in the plans, shall be the responsibility of the contractor. Unless expressly stated, all systems and equipment shall be completed and appropriately operable. Furnish and install all specified and appropriate items, and all incidental accessory and other items not specified but required for a complete and finished assembly.
- No work defective in workmanship or quality or deficient in any requirements of the contract documents will be acceptable despite the architect's failure to discover or point out defects or deficiencies during construction. Work conforming to the intent of the contract shall replace defective work revealed within the time required by guarantees. No payment either partial or final, shall be construed as an acceptance of defective work or improper materials.
- During the course of construction, actual locations of construction items denoted in the construction documents shall be indicated to scale, in contrasting ink on the drawings for all runs of mechanical, sprinkler, plumbing, and electrical work; including site utilities and concealed deviations from the drawings. Upon completion of the project the architect will provide the contractor with a reproducible set of original documents for "As-Built" documentation. This set shall be conspicuously marked "As-Built" and delivered to the architect.
- It is intended that the contractor provide a complete job and any omissions in these notes or in the outline of work shall not be construed as relieving the contractor of such responsibilities implied by scope of work except for items specifically noted.
- Should any portion of the contract documents prove to be for whatever reasons, unenforceable, such unenforceability shall not extend to the remainder of the contract nor shall it void any other provisions of the contract.
- Throughout the duration of the project refrain from actions that could lead to the filing of claims of lien by subcontractors, suppliers of materials, labor, service, equipment or any other individual or company so entitled under governing laws and regulations unless reasonable and justifiable cause can be shown. Approval for payments shall be contingent upon the contractors obtaining and furnishing to the project manager signed releases from such individuals or companies.
- The contractor is responsible for checking contract documents, field conditions and dimensions for accuracy and confirming that work is buildable as shown before proceeding with construction. If there are any questions regarding these or other coordination issues, the contractor shall submit them, in writing, to the architect and the project manager, and is responsible for obtaining a written clarification from the architect and project manager before proceeding with work in question, or related work.
- Execute work in accordance with any and all applicable local, state, federal codes, manufacturer's recommendations, trade and reference standards including but not limited to: I.B.C., Seismic Codes, N.E.C., N.F.P.A., A.S.M.C., U.M.C., latest enforced editions.
- Do NOT scale drawings; dimensions shall govern. Details shall govern over plans and elevations. Large scale details shall govern over small scale details. Written specifications shall govern over all. If dimensions are in question, the contractor shall be responsible for obtaining clarification from the architect before continuing with construction.
- Clarify all discrepancies relative to construction documents, specifications, and field conditions prior to submitting bids and commencing work.
- There shall not be substitution of materials where a manufacturer is specified. Where the term "or equal" is used, the architect or project manager shall determine equality based upon information submitted by the contractor.
- The contractor shall be responsible for the distribution of drawings to all trades under his jurisdiction.
- Do not proceed with any work requiring additional compensation beyond the contract amount without written authorization from the project manager. Failure to obtain authorization shall invalidate any claim for extra compensation.
- All installed plumbing, mechanical, and electrical equipment shall operate quietly and free of vibration.
- Upon notification of completion of the work and delivery of the contractor's punch list, the project manager and/or the architect shall prepare a punch list of corrections, unsatisfactory and/or incomplete work. Final payment will be contingent upon the completion of these items under the terms of the owner/contractor agreement.
- All materials shall be new, unused, and of the highest quality in every respect unless otherwise noted. Manufactured materials and equipment shall be installed as per manufacturer's recommendations and instructions, unless otherwise noted.
- The contractor and subcontractors shall purchase and maintain certifications of insurance with respect to workers compensation, public liability and property damage for the limits as required by law. The contractor shall be responsible for initiating, maintaining, and supervising all safety precautions in connection with the work.
- Verify in the field that no conflicts exist which would prohibit the location of any and all mechanical, telephone, electrical, lighting, plumbing and sprinkler equipment (to include all required piping, ductwork and conduit) and that all required clearances for installation and maintenance of above equipment is provided.
- "Typical" or "Typ." means identical for all similar conditions unless otherwise noted.
- "Similar" or "Sim." means comparable characteristics to the condition noted. Verify dimensions and orientation on plan.
- "Verify" or "Ver." means to ascertain and confirm application with project manager or architect. Furniture shown is for reference only and installed by others unless otherwise noted.
- Provide strict control of job cleaning and prevent dust and debris from emanating from construction area.
- All contract documents are complementary, and what is called for by any will be as binding as if called for by all. All work shown or referred to on any contract document shall be provided as though they are on all related documents.
- It shall be the responsibility of the contractor to notify the project manager of any conflicts therein - either apparent or obvious - prior to the start of new work on that item or bear the responsibility of correcting such work as directed by the project manager.
- All drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect.
- Equipment indicated as O.F.C.I. shall be furnished by the owner and received and stored by the general contractor. (See owner furnished equipment manual and owner furnished vendor drawings.) the contractor shall coordinate with the owner on delivery and installation of the equipment.
- The contractor shall provide chases for mechanical, plumbing, and electrical as required and as necessary. See respective drawing sections.
- Piping located above grade and inside the building shall be concealed in furred spaces with the exception of piping in stairways, equipment rooms and the powerhouse. The contractor shall coordinate with other trades to provide furring for piping installed in finished areas. The contractor shall gain approval from the architect prior to locating and/or providing "furred spaces" not indicated on the floor plans.
- The contractor shall verify that access panels of type specified are installed in walls and non-accessible type ceilings and soffits where access, service or adjustment to mechanical, plumbing or electrical items may be required. Access panels shall be the fire rated type equal to the rating of the wall, soffit or ceiling in which they occur. Coordinate all locations with architect prior to installation.
- Caulk at juncture of interior faces of door frames, view window frames, exterior window frames, cabinet work, casework, recessed toilet accessories, surface mounted toilet accessories, etc., with adjacent materials even though joint may not be visible.
- The contractor is responsible for locating and avoiding any existing utilities, whether or not shown on the plans. Any relocation's, tie-ins, or damages incurred shall be the responsibility of the contractor to correct at his expense.
- The contractor shall not cut structural work in a manner resulting in a reduction of load carrying capacity or load/deflection ratio. The contractor shall notify the architect of all structural cuts prior to execution so that approval can be obtained from the architect and structural engineer.
- The contractor shall provide all barricades, scaffolding, and other means of protection required to comply with all state laws and local municipal ordinances to safeguard property and persons.
- The contractor shall inspect the site and be solely responsible for determining the complete scope of work involved.
- RDB Design scope of work includes deck, balcony, sign, canopy and ramp. All design and documentation for the trailer building by Williams Scotsman.

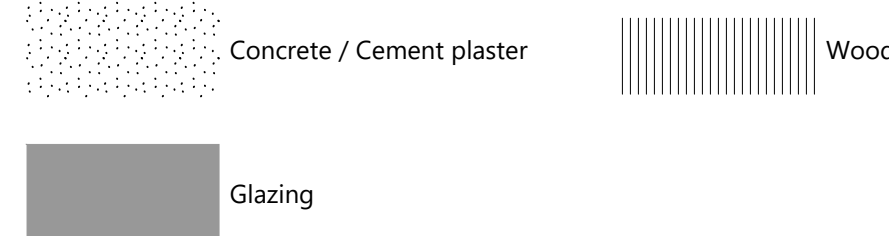
Cross Reference Symbols



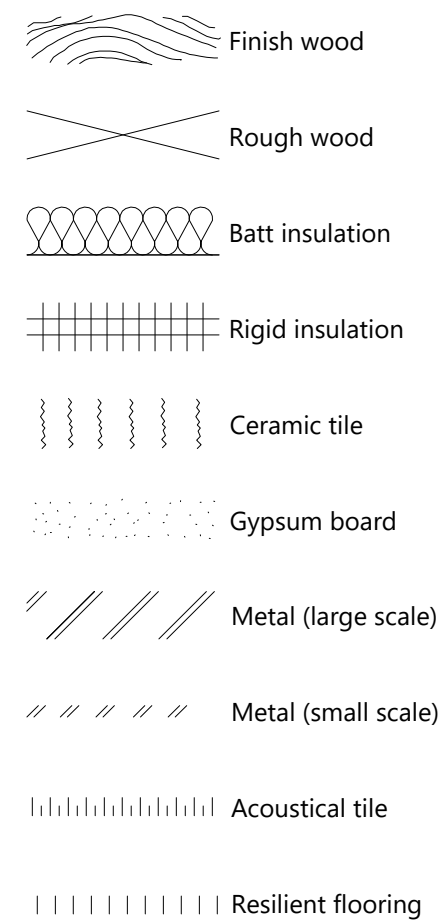
Materials in Plan



Materials in Elevation



Materials in Section



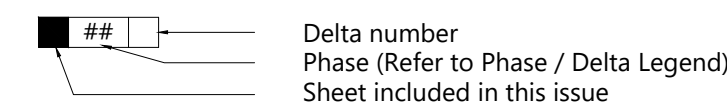
Project Description

The project consists the addition of a new deck on the north side of an existing restaurant. The deck will include a covered area of approximately half the foot print of the new deck. Two stairs and a walkway will be provided for egress separate from the existing restaurant. A small addition is being proposed to the existing bar area and will extend north onto the existing deck. No additional or modifications are being proposed to the existing restaurant interior or square footage.

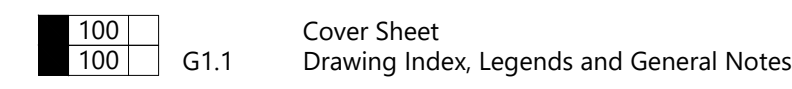
Project Team

Owner:	Island Management 3333 W Kennedy Blvd, FL 33609 Suite 206 813.875.6324	Bill Curtis	President
Architect:	RDB Design 1305 E Knollwood St Tampa, Florida 33604	Robert Blount	President
Structural Engineer:	Integral Engineering 16704 Tobacco Rd. Lutz, FL 33558 813.908.0402	Luis Correa	President
Mech/Electrical/Plumbing Engineer:	Joseph Lawrence & CO., Space Coast 317 Riveredge Blvd, Suite 110 Cocoa, FL 32922 407.583.9785	Larry Stoff	President

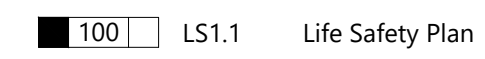
List of Drawings



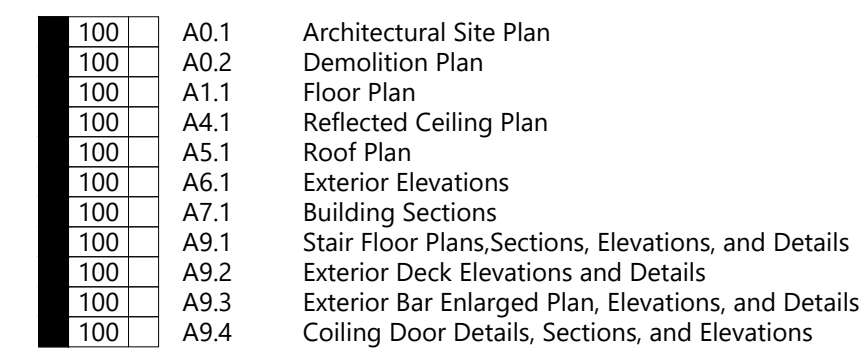
Cover Sheet and Master Index



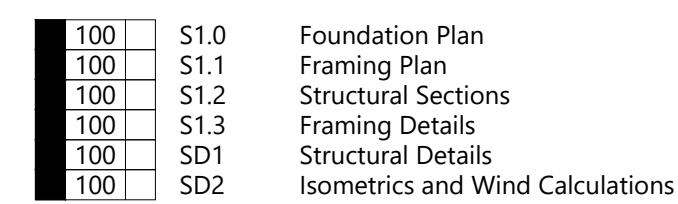
Life Safety Drawings



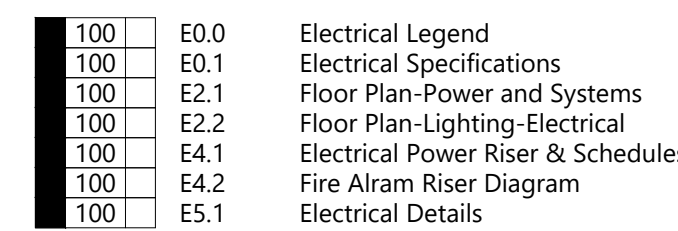
Architectural Drawings



Structural Drawings



Electrical Drawings



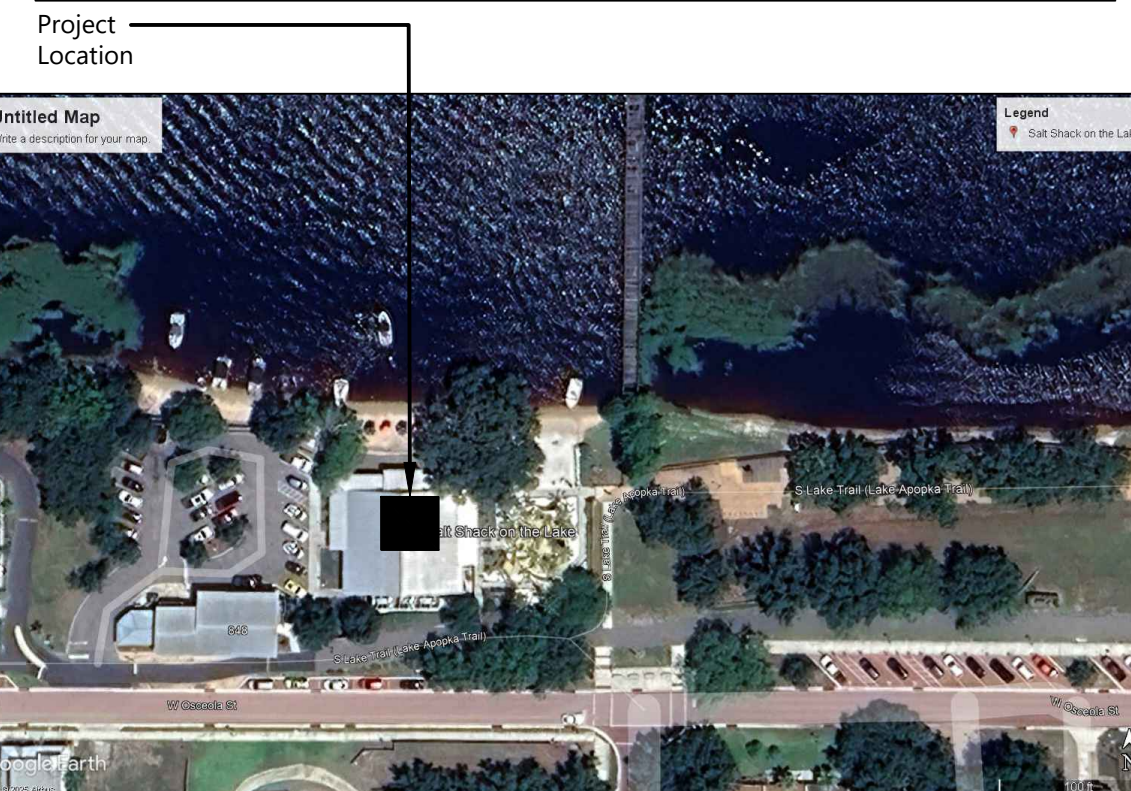
Plumbing Drawings



Phase / Delta Legend

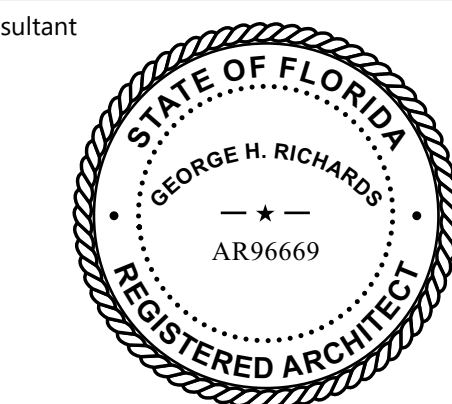
PHASE	DELTA #	DESCRIPTION	ISSUE DATE
100	.	Construction Documents	August 13, 2025

Vicinity Map



1305 E. Knollwood Street
Tampa, Florida 33604
Tel (813) 765-7219
©2025 RDB Design

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Salt Shack Restaurant - Clermont
Deck Addition
846 W. Osceola Street
Clermont FL 34711

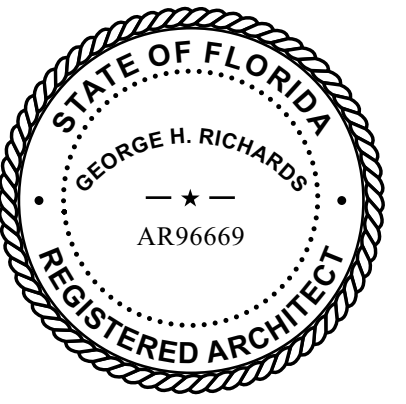
Project

Drawing Date: August 13, 2025
Project Number: 06-0425
Project Phase: Construction Documents

Drawing Index, Legends &
General Notes

G1.1

Consultant



Applicable Codes

Florida Building Code (FBC), 2023 Eighth Edition
Florida Fire Prevention Code (FFPC), 2023 Eighth Edition
Florida Mechanical Code, 2023 Eighth Edition
Florida Plumbing Code, 2023 Eighth Edition
Florida Gas Code, 2023 Eighth Edition
Florida Existing Building Code, 2023 Eighth Edition
Referenced NFPA standards including:
NFPA 101 2021 Edition resides in FFPC 8th edition 2023
NEC 2020

Building Classification

Occupancy: Existing restaurant renovation
Existing restaurant-Deck Addition
Group A-2, FBC, (Sect 303.3)
Building type, Type V-B
Deck s.f. = Approximately 2,427 s.f.
The existing building/covered area is sprinklered. The new deck addition is a separate fire area and is not connected to the existing building. The deck is open on all sides and does not require sprinklering.

NOTE: No additional square footage is being added to the existing building. The new deck will connect to the existing deck.

Occupant Load and Egress Capacity Calculations

Occupant Load Factor:
FFPC NFPA 101 (Table 7.3.1.2): Assembly
FBC (Table 1004.1.3): A-2

Total Square Footage: 2,427 s.f.

Space	Occupant load factors	Total number of occupants
Deck	Phase 2 Exterior Deck 2,427/15 s.f. Bar Top 224/18"	162 13
Total Occup.		175

Egress Width Requirements:
FFPC NFPA 101 (Table 7.3.3.1)
FBC (1005.3.2)

Doors	Occupants	Capacity factor	Egress capacity	
			Required	Provided
Restaurant	175	0.2"	35"	113"

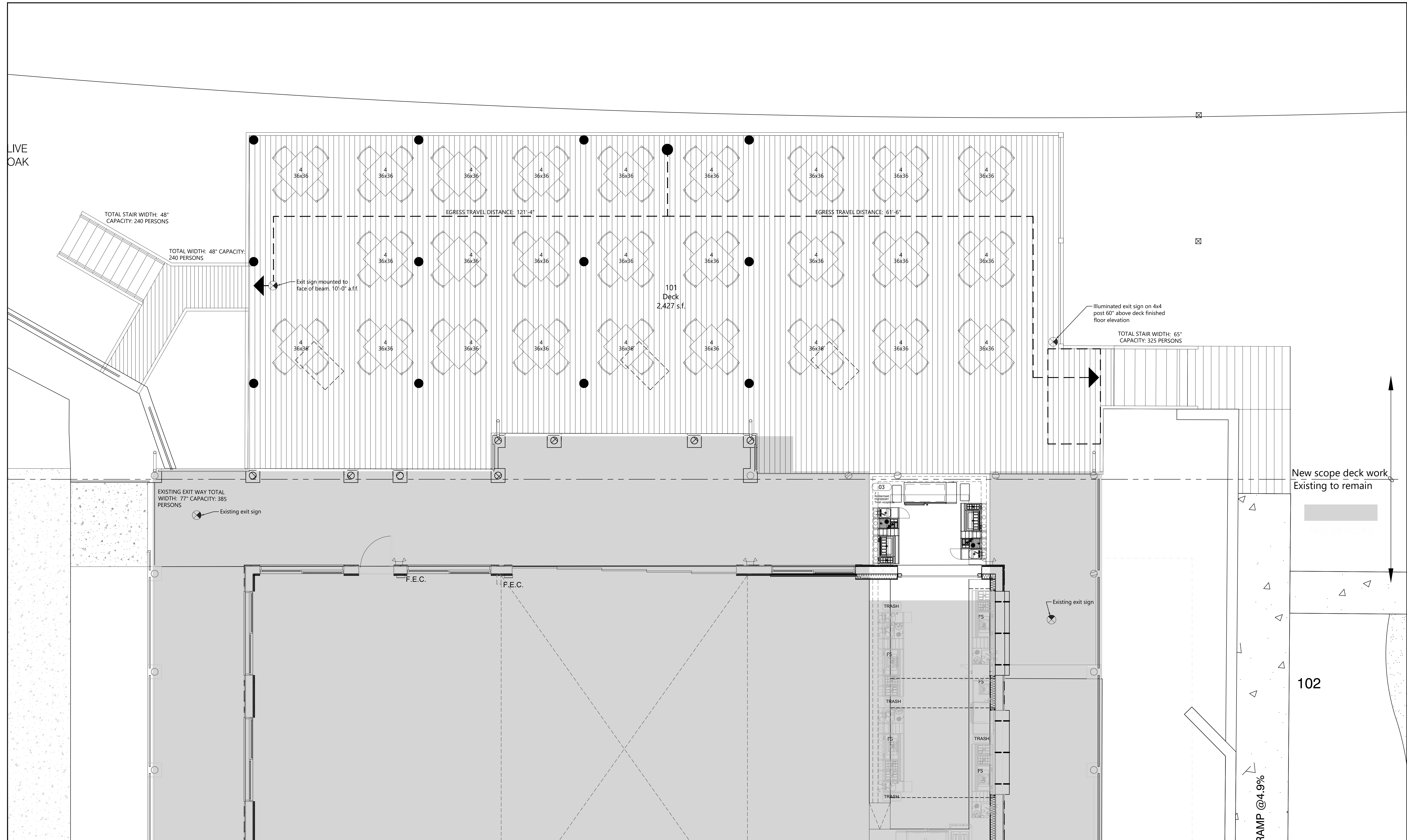
FBC 1016.1 Exit Access Travel Distance NOTE: Emergency lighting shown on electrical drawings.
With sprinkler system 250'
without sprinkler system 200'
Maximum egress travel distance - 148'-4"
Maximum dead end - 13'-4"

Plumbing Occupant Loads and Capacity Calculations

Minimum Number of Plumbing Fixtures:
FBC 2020 - Plumbing (Table 403.1)

Level / Occup	Water closets Group A-2 - 1:75	
	Male (1/2 occ. load)	Female (1/2 occ. load)
	Req'd/ Prov'd	Req'd/ Prov'd
292 (A-2)-Existing	(146) 2 / 7	(146) 2 / 7
175 (A-2)-Deck Addition	(88) 1 / 7	(88) 1 / 7

Lavatories Group A-2 - 1:200		Drinking Fountains Group A-2 - 1:500	Others
Male (1/2 occ. load)	Female (1/2 occ. load)	Req'd/ Prov'd	Req'd/ Prov'd
Req'd/ Prov'd	Req'd/ Prov'd		
(234) 2 / 7	(234) 2 / 7		



Salt Shack Restaurant - Clermont
Deck Addition
846 W. Osceola Street
Clermont FL 34711

Project

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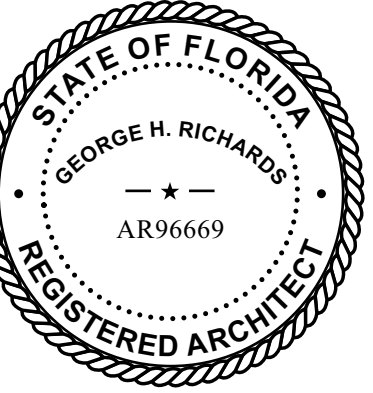
Life Safety Plan

LS1.1



Life Safety Plan
Scale: 1/4" = 1'-0"

Consultant



General Demolition Notes

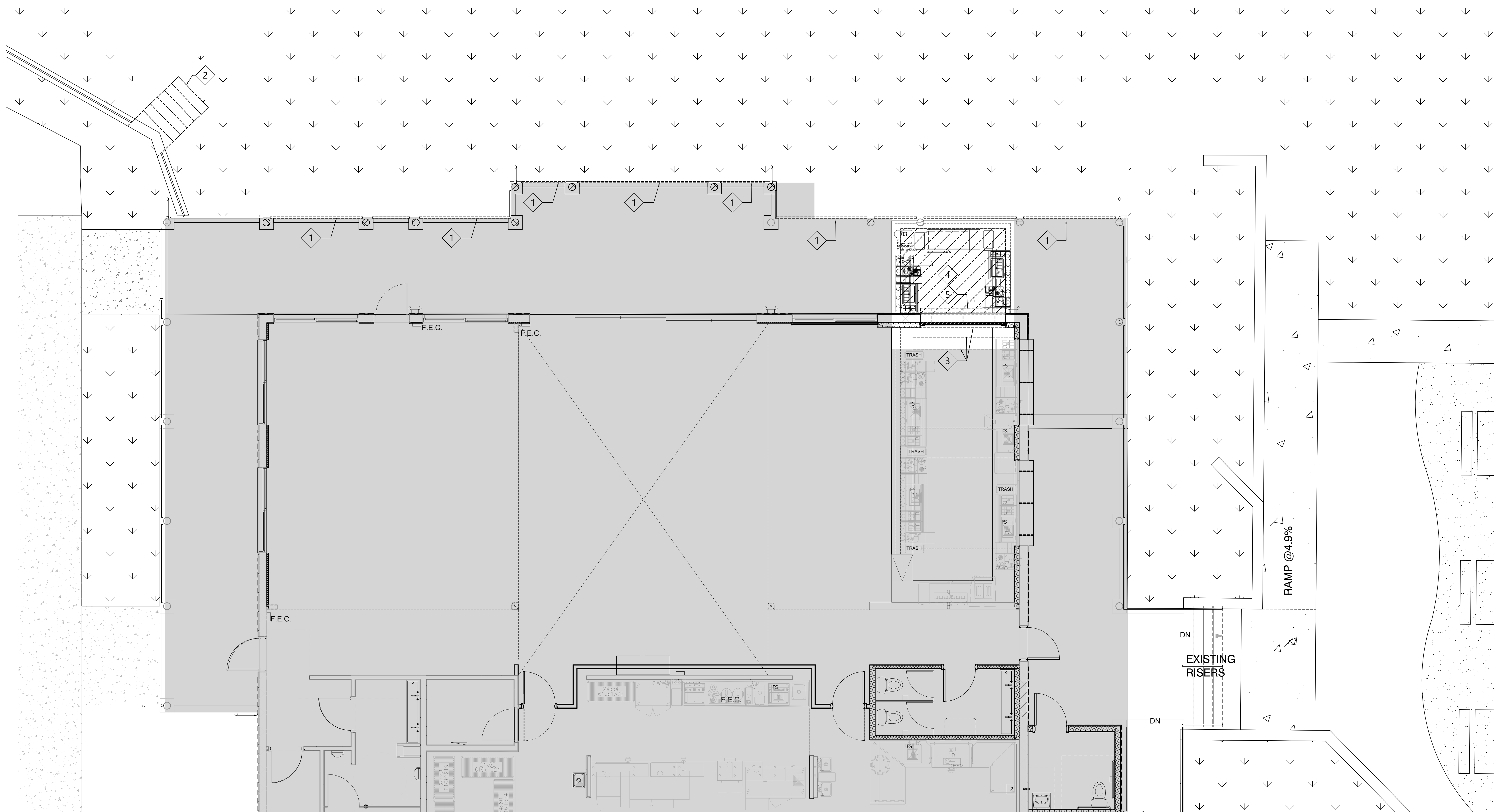
- Demolition of existing guardrails to be on north side of building, only. All other guardrails to remain.
- Existing building fascia, soffits, and rain leaders to remain.

Legend

Area of Demolition

Demolition Keynotes

- Remove existing guardrail this area.
- Remove existing steps to the beach.
- Remove existing bar top this area.
- Remove existing 2 x wood deck this area. Refer to A 9.3 for new flooring details.
- Remove existing counter ceiling door and prep opening jambs to receive new overhead ceiling door. Refer to A9.4 for additional details.



1 Deck Floor Plan
Scale: 1/4" = 1'-0"

Salt Shack Restaurant - Clermont
Deck Addition
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Clermont FL. 34711

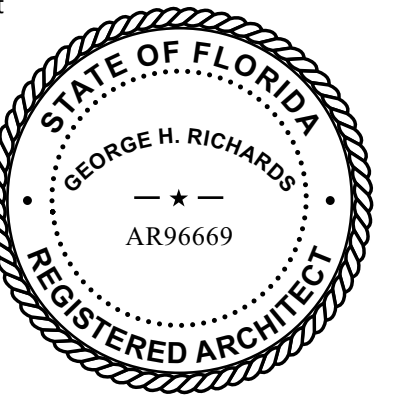
Project

Drawing Date: August 13, 2025
Project Number: 06-0425
Project Phase: Construction Documents

Demolition Plan

A0.2

Consultant



Salt Shack Restaurant - Clermont

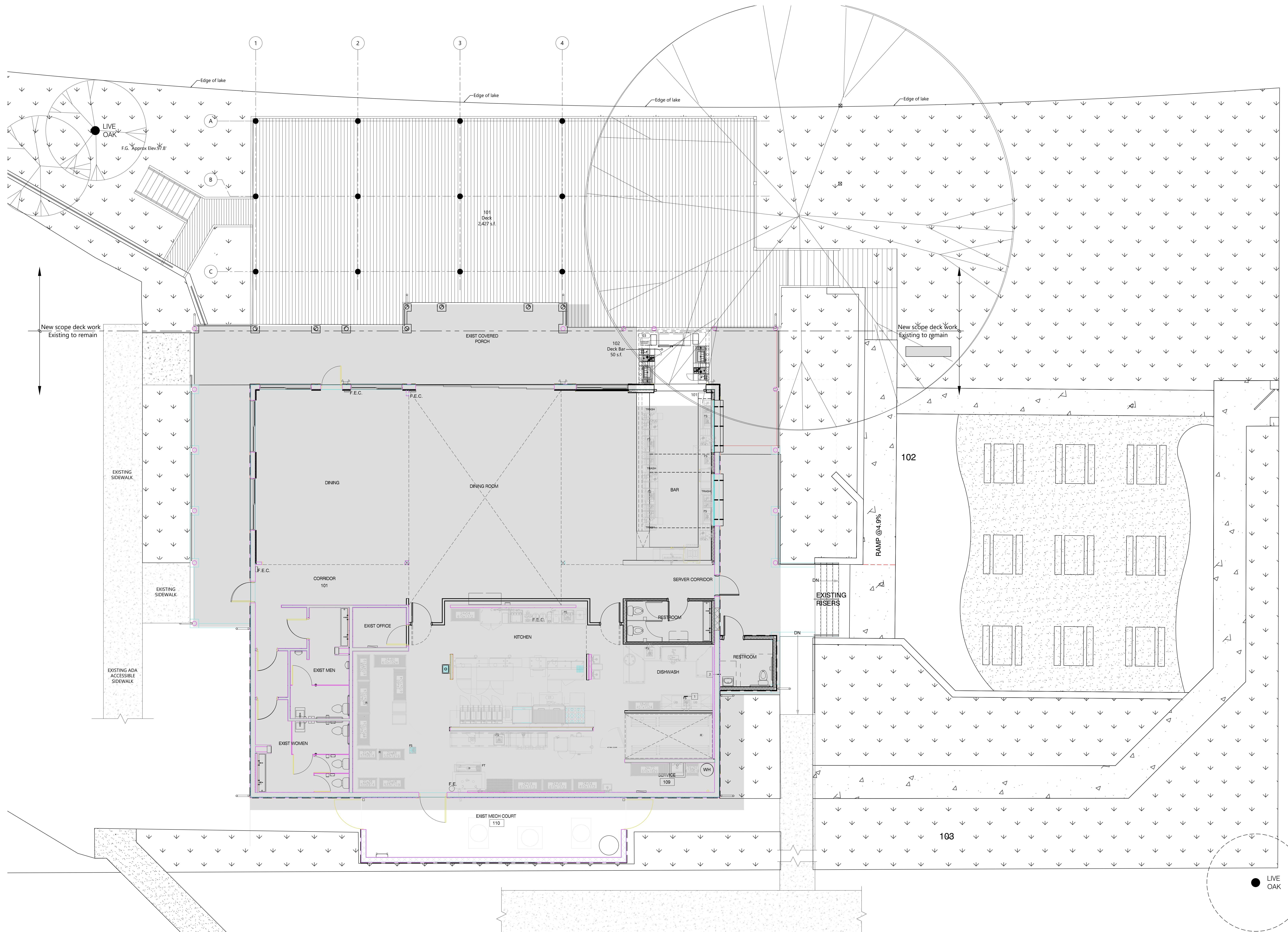
Deck Addition
846 W. Osceola Street
Clermont FL 34711

Project

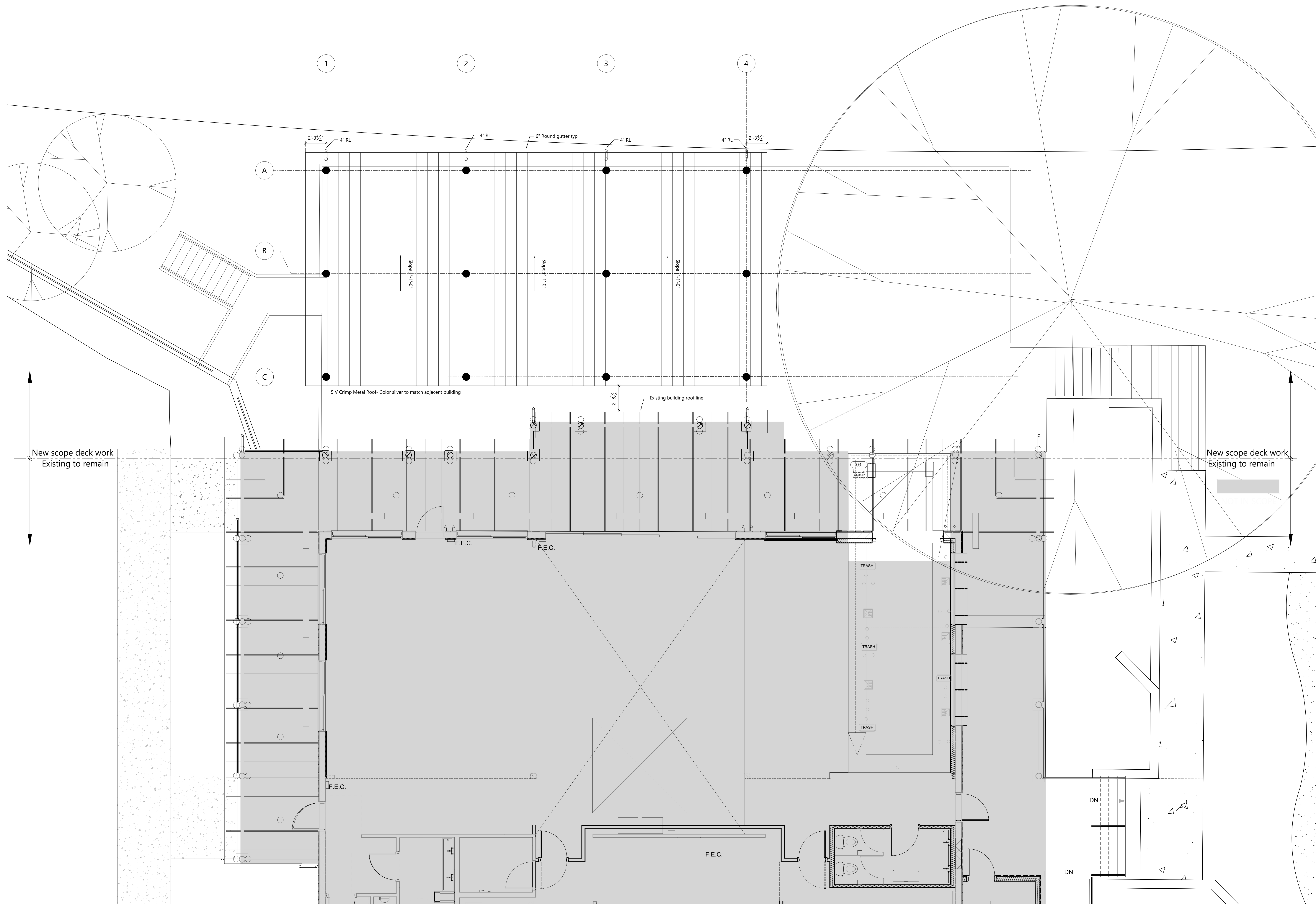
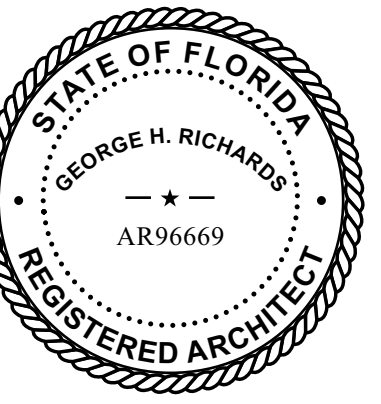
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Site Plan

A1.0



1 Site Plan
Scale: 3/16" = 1'-0"



Salt Shack Restaurant - Clermont
Deck Addition
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Clermont FL 34711

Project

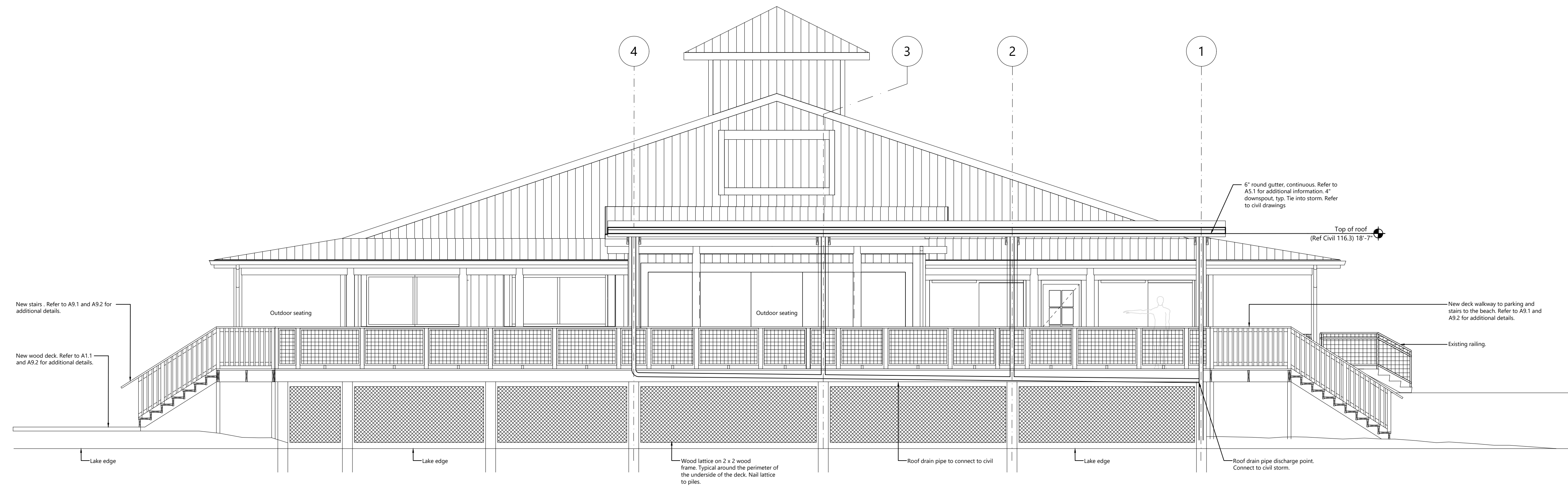
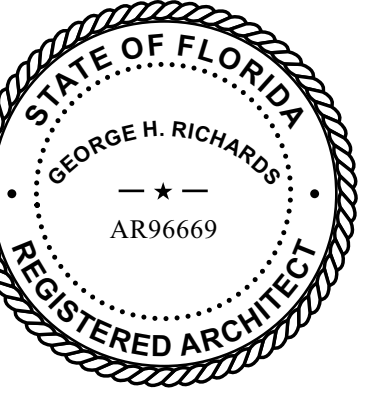
Drawing Date: August 13, 2025
Project Number: 06-0425
Project Phase: Construction Documents

Deck Roof Plan

1 Deck Roof Plan
Scale: 1/4" = 1'-0"

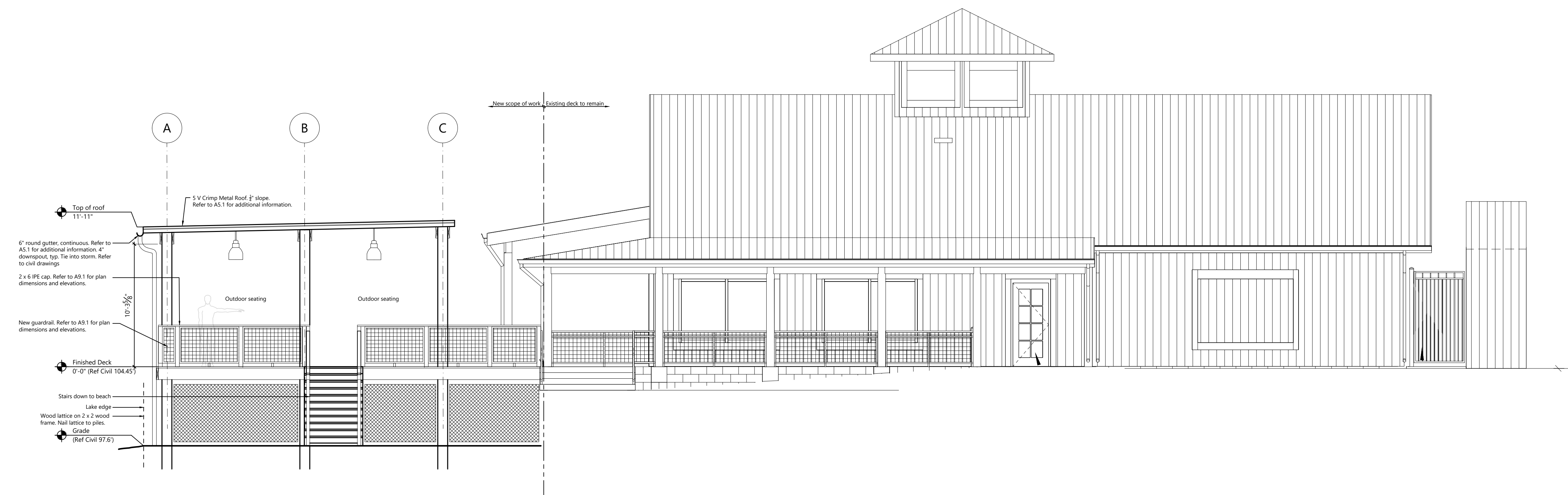
A5.1

Consultant



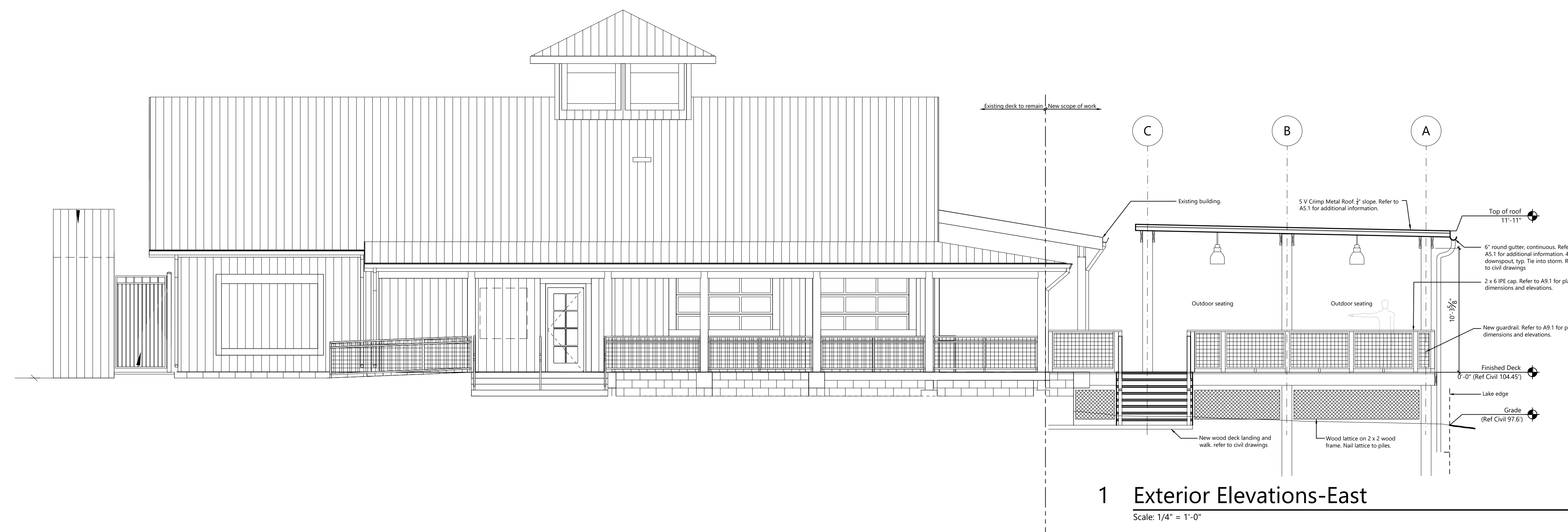
2 Exterior Elevations-West

Scale: 1/4" = 1'-0"



2 Exterior Elevations-West

Scale: 1/4" = 1'-0"



1 Exterior Elevations-East

Scale: 1/4" = 1'-0"

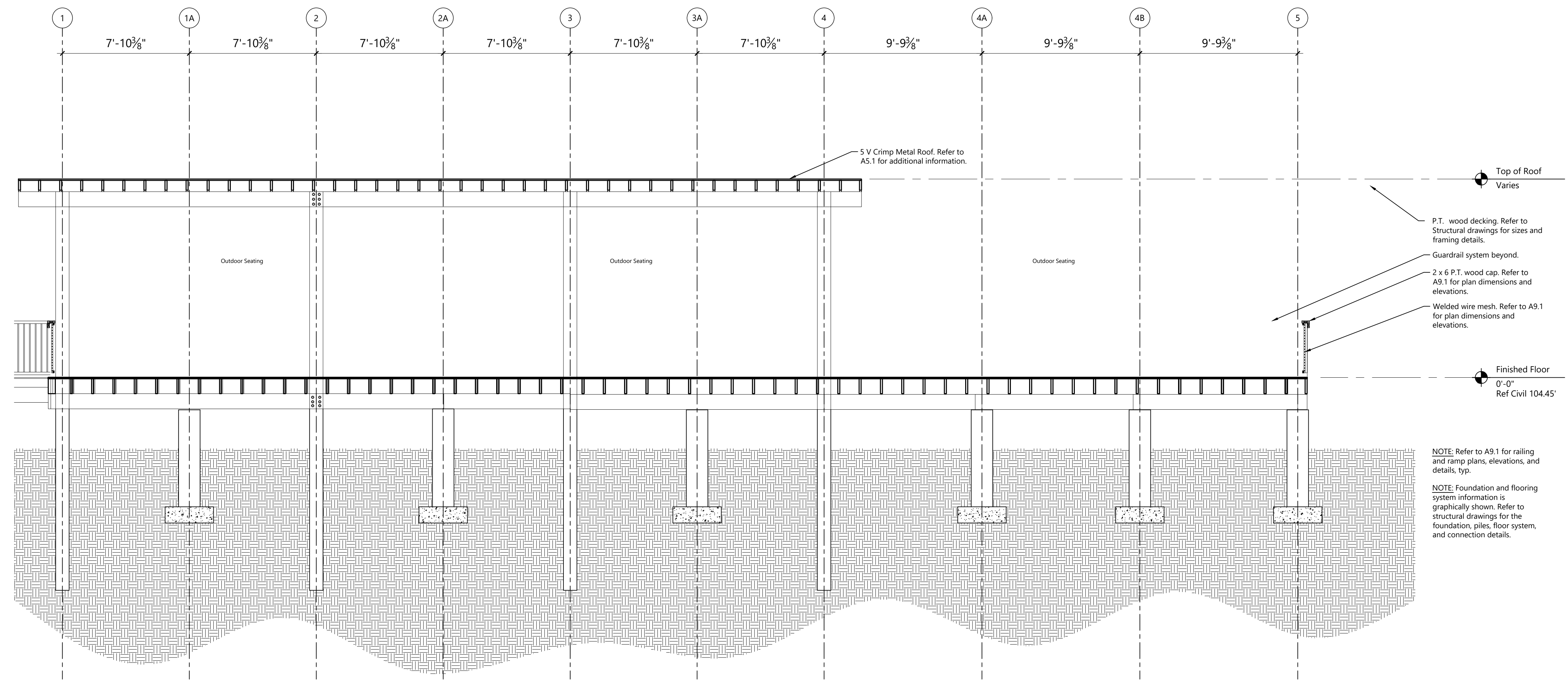
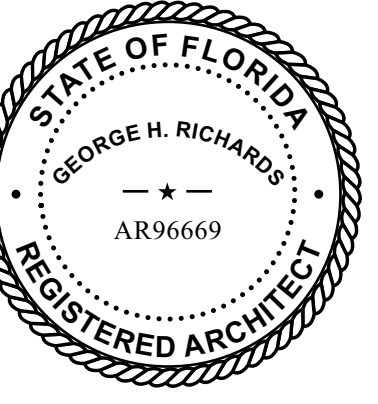
Salt Shack Restaurant - Clermont
Deck Addition
846 W. Osceola Street
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Project

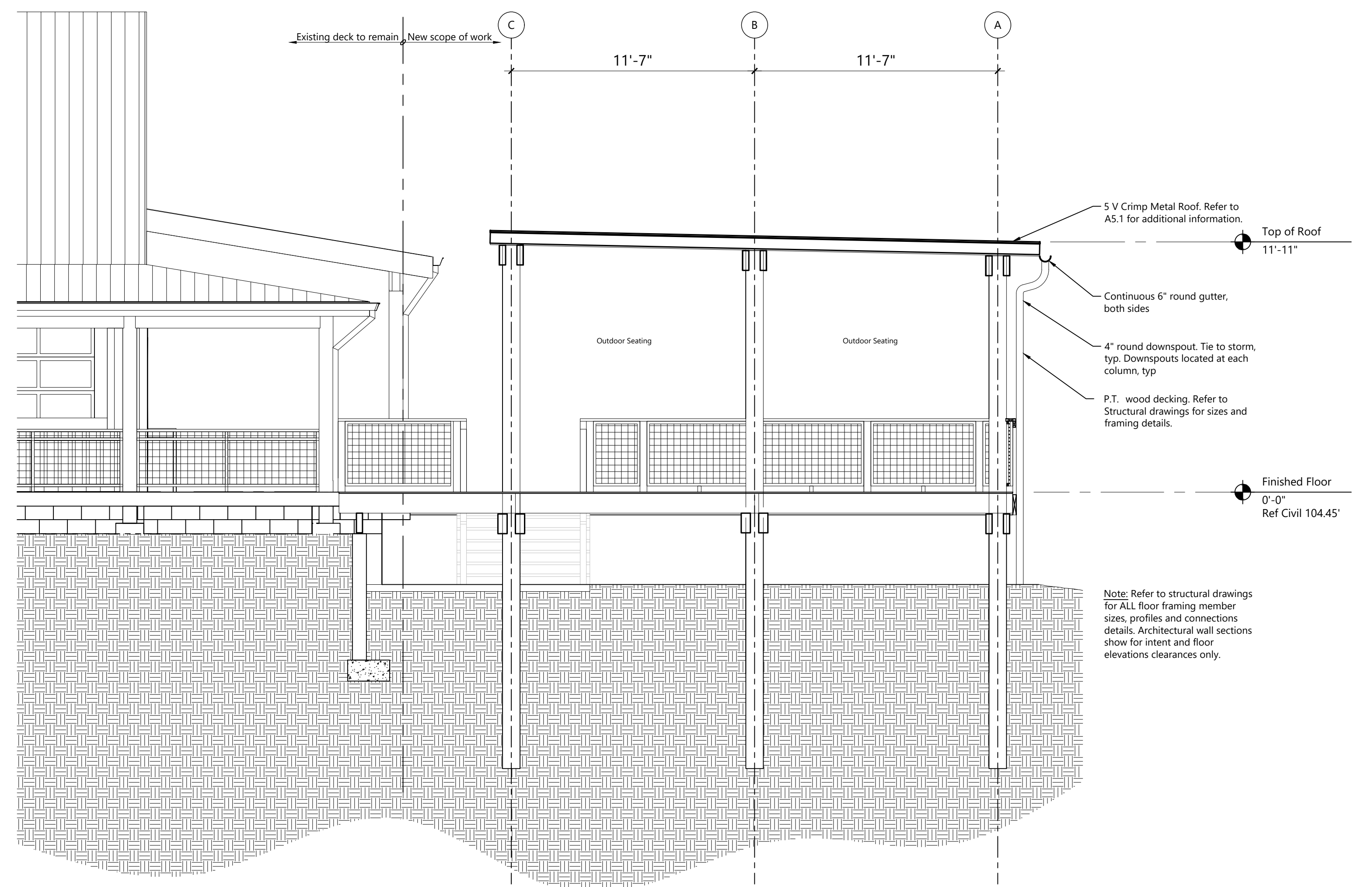
Drawing Date: August 13, 2025
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Project Phase: Construction Documents

Deck Exterior
Elevations

A6.1



2 Building Section
Scale: 1/4" = 1'-0"



1 Building Section
Scale: 1/4" = 1'-0"

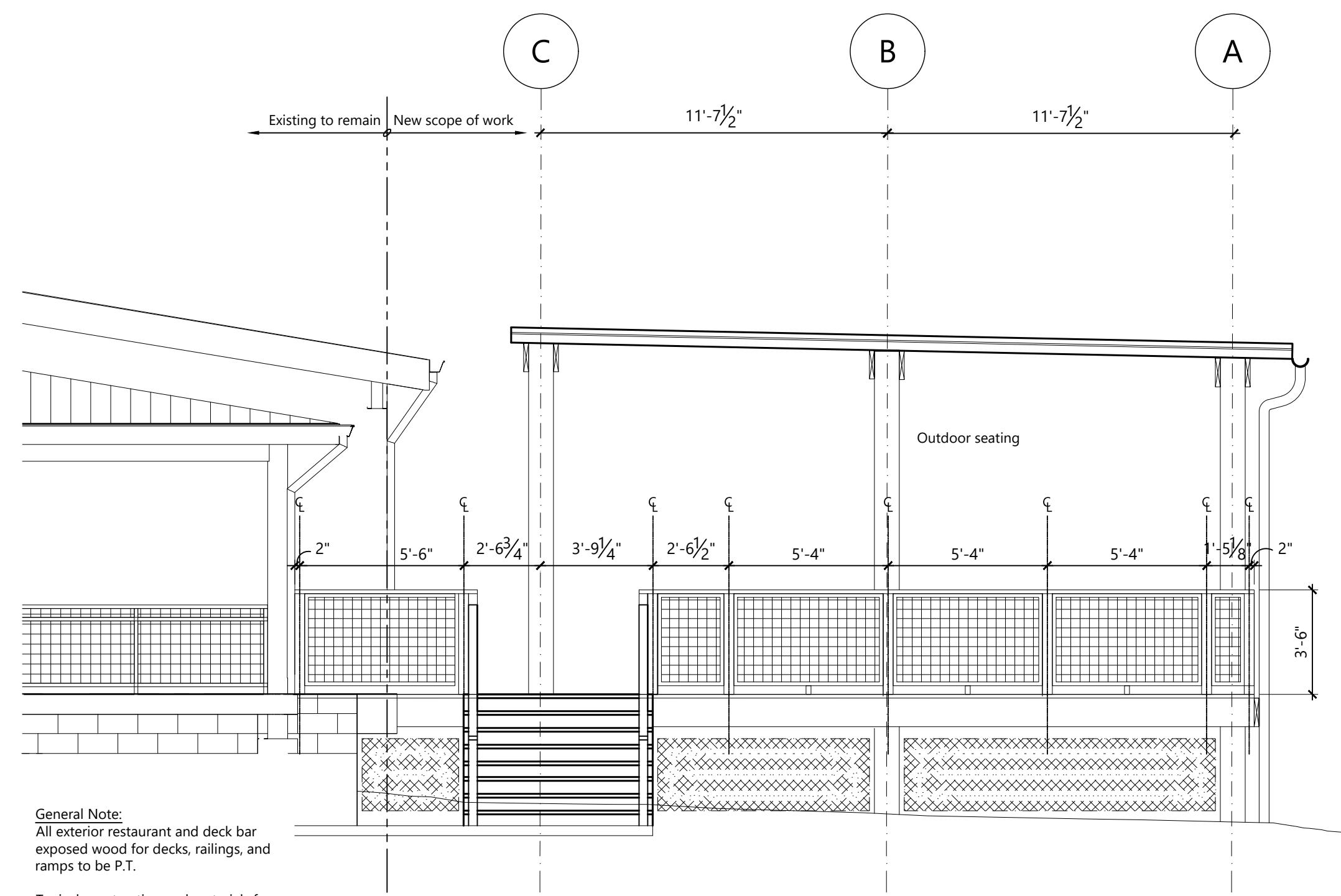
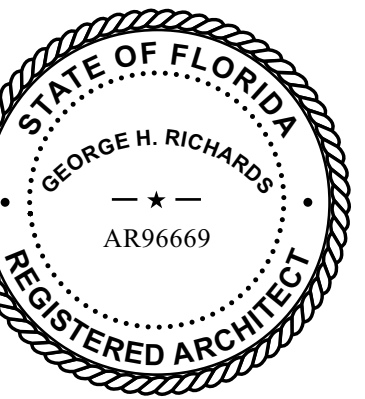
Salt Shack Restaurant - Clermont
Deck Addition
846 W. Osceola Street
Clermont FL 34711

Project

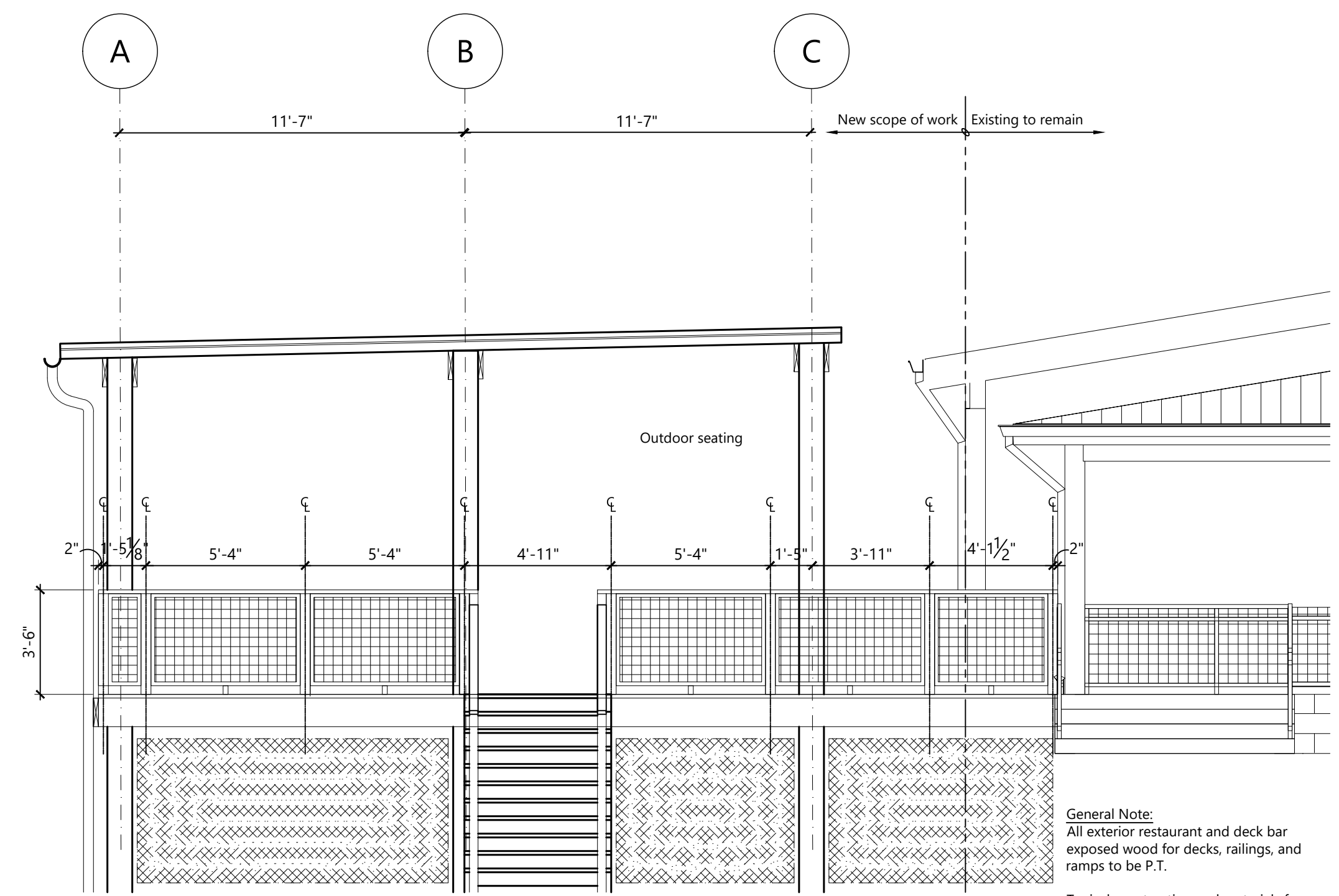
Drawing Date: August 13, 2025
Project Number: 06-0425
Project Phase: Construction Documents

Building Sections

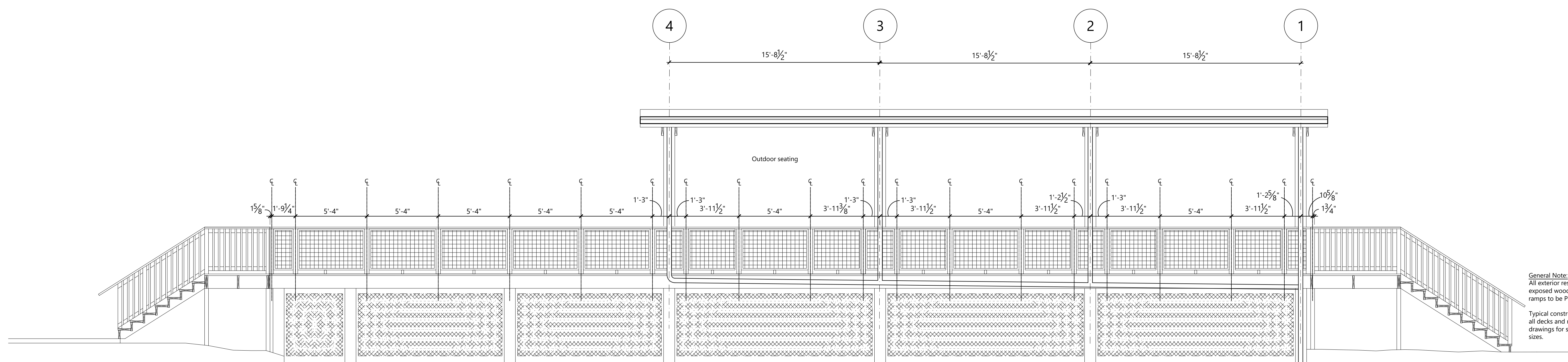
A7.2



3 Exterior Guardrail Elevations
Scale: 1/4"=1'-0"



2 Exterior Guardrail Elevations
Scale: 1/4"=1'-0"



1 Exterior Guardrail Elevations
Scale: 1/4"=1'-0"

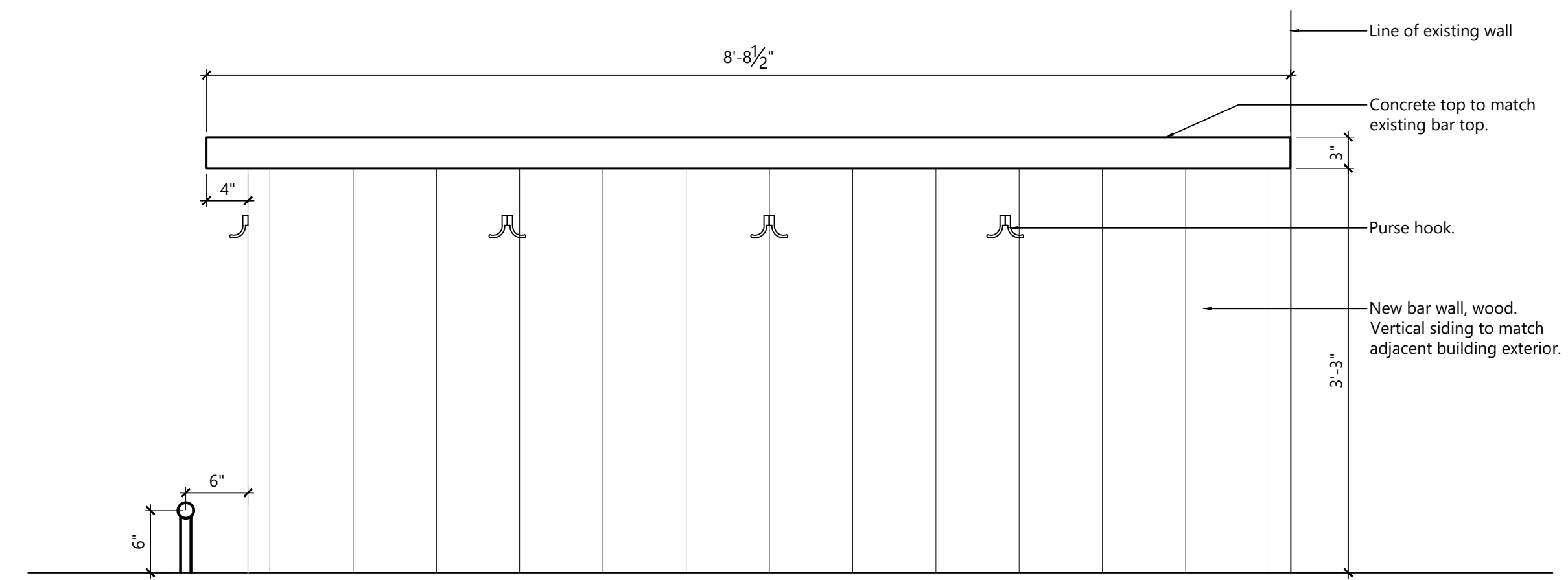
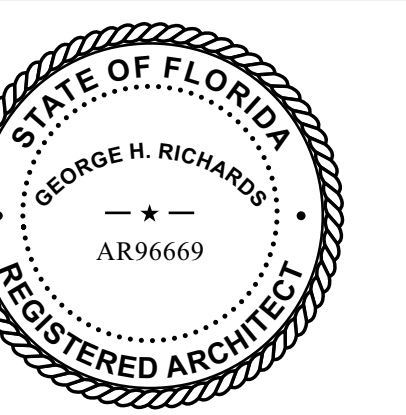
Salt Shack Restaurant - Clermont
Deck Addition
846 W. Osceola Street
Clermont FL 34711

Project

Drawing Date: August 13, 2025
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Project Phase: Construction Documents

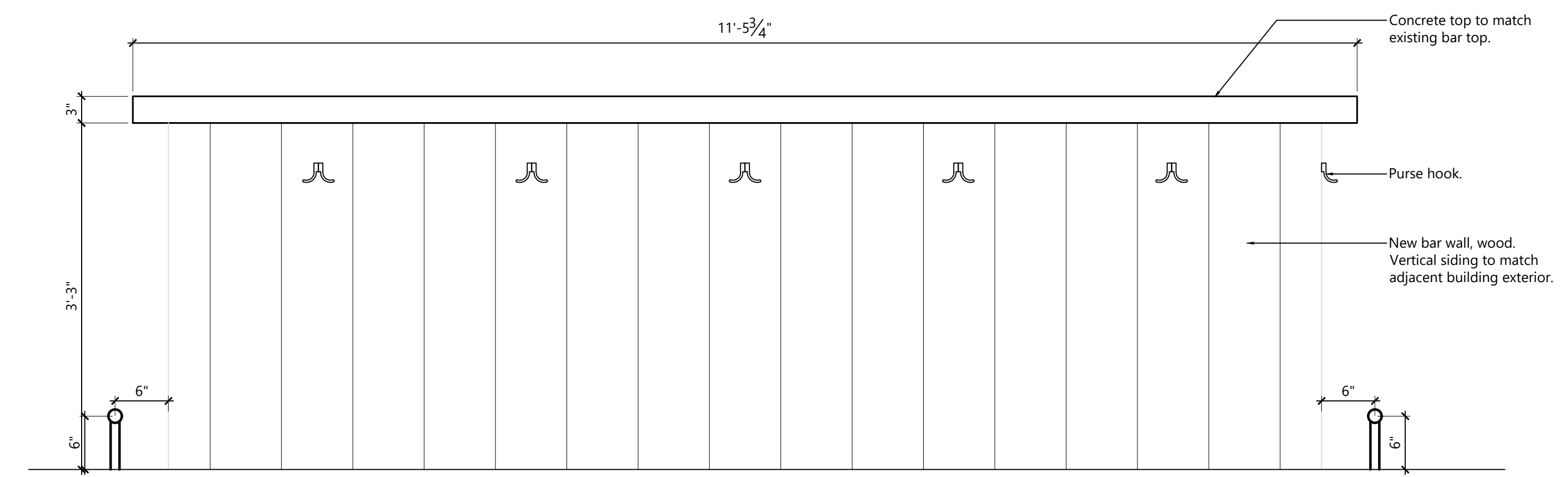
Exterior Deck
Elevations and Details

A9.2



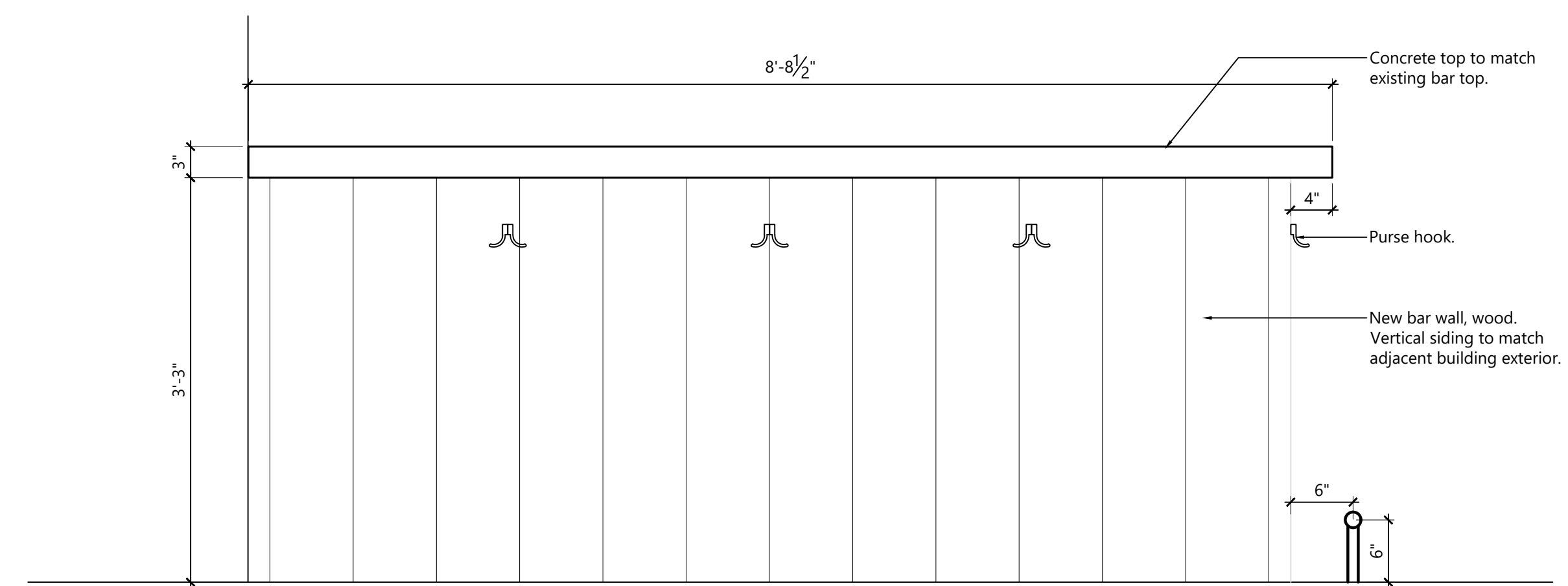
4 Exterior Bar Elevation

Scale: 1/4" = 1'-0"



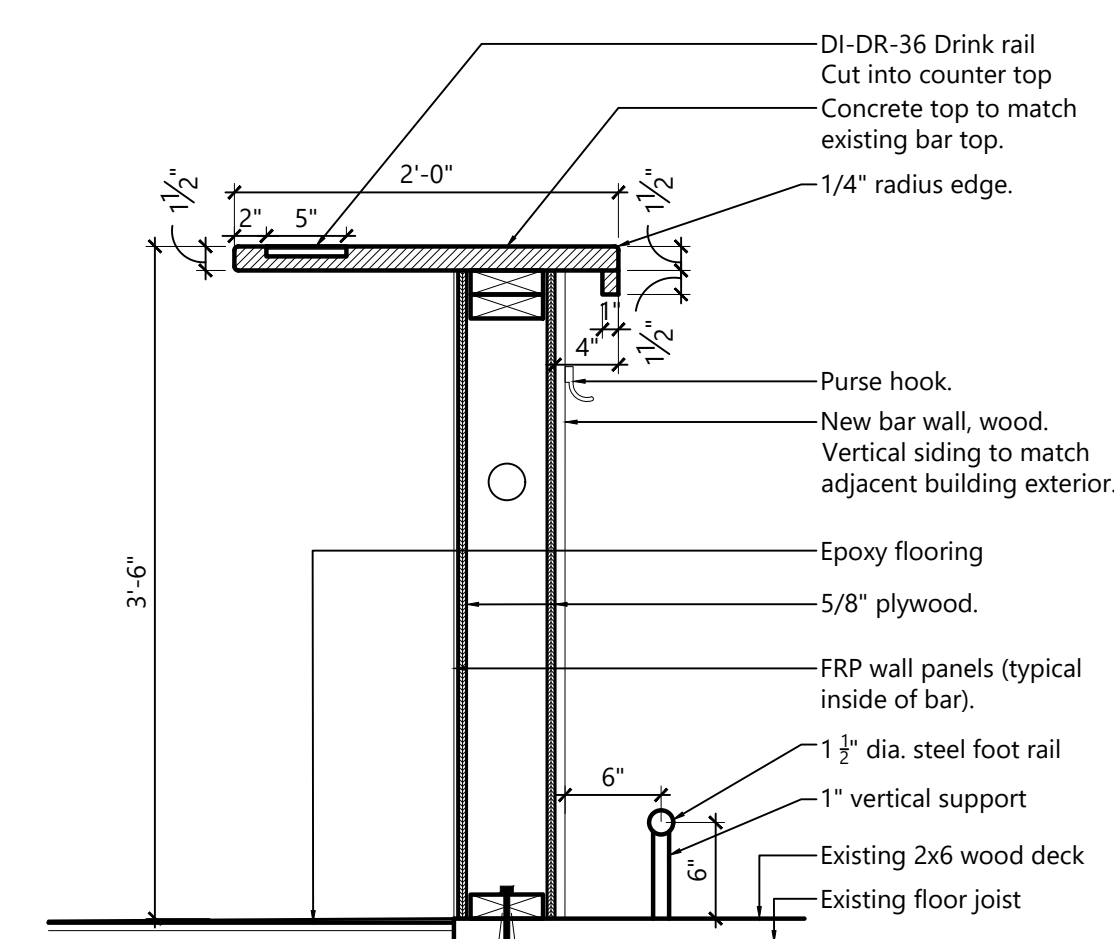
3 Exterior Bar Elevation

Scale: 1/4" = 1'-0"



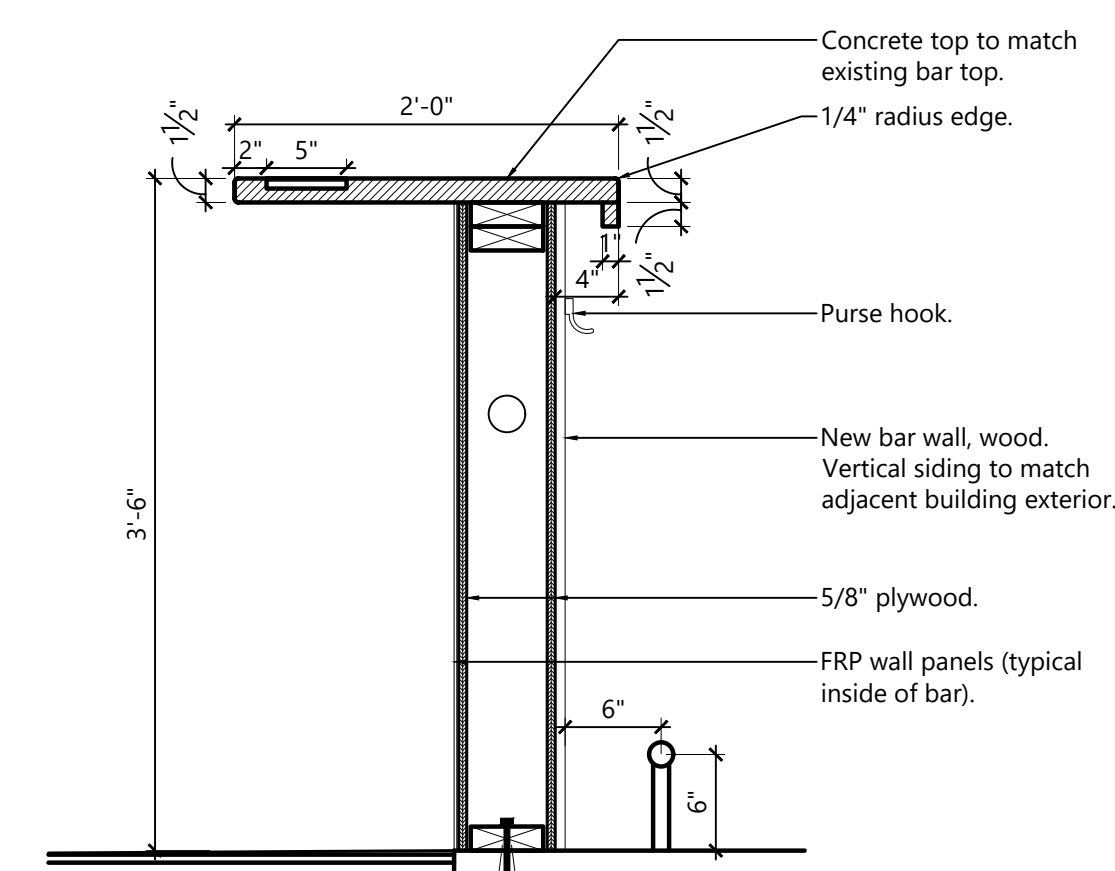
2 Exterior Bar Elevation

Scale: 1/4" = 1'-0"



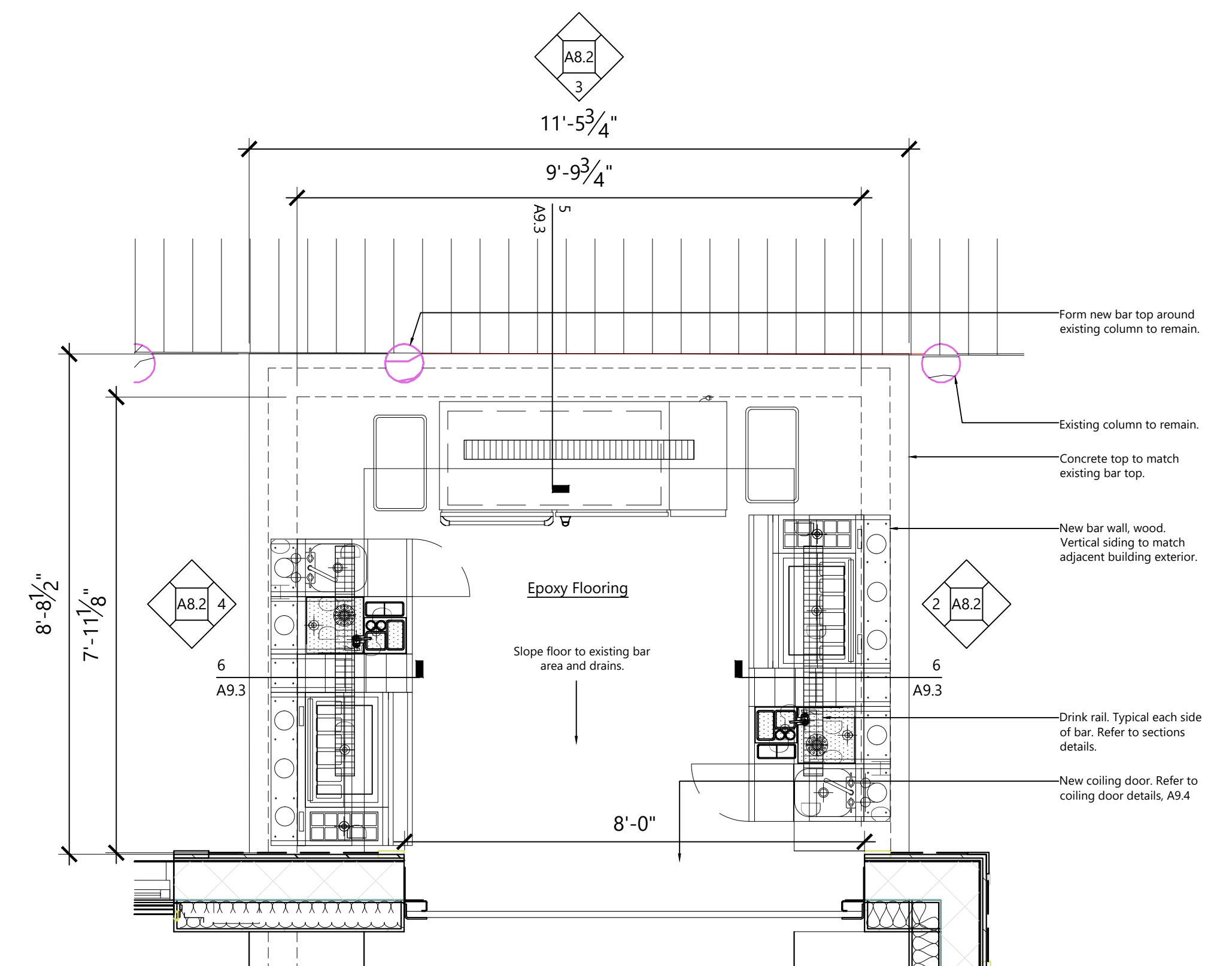
06 Bar Section

Scale: 1" = 1'-0"



05 Bar Section

Scale: 1" = 1'-0"



1 Bar Addition

Scale: 1/2" = 1'-0"

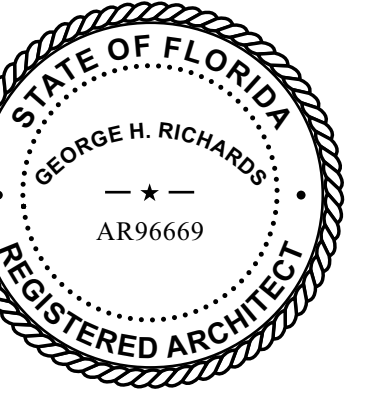
Salt Shack Restaurant - Clermont
Deck Addition
846 W. Osceola Street
Clermont FL. 34711

Project

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**Exterior Bar Enlarged
Plan, Elevations and
Details**

A9.3



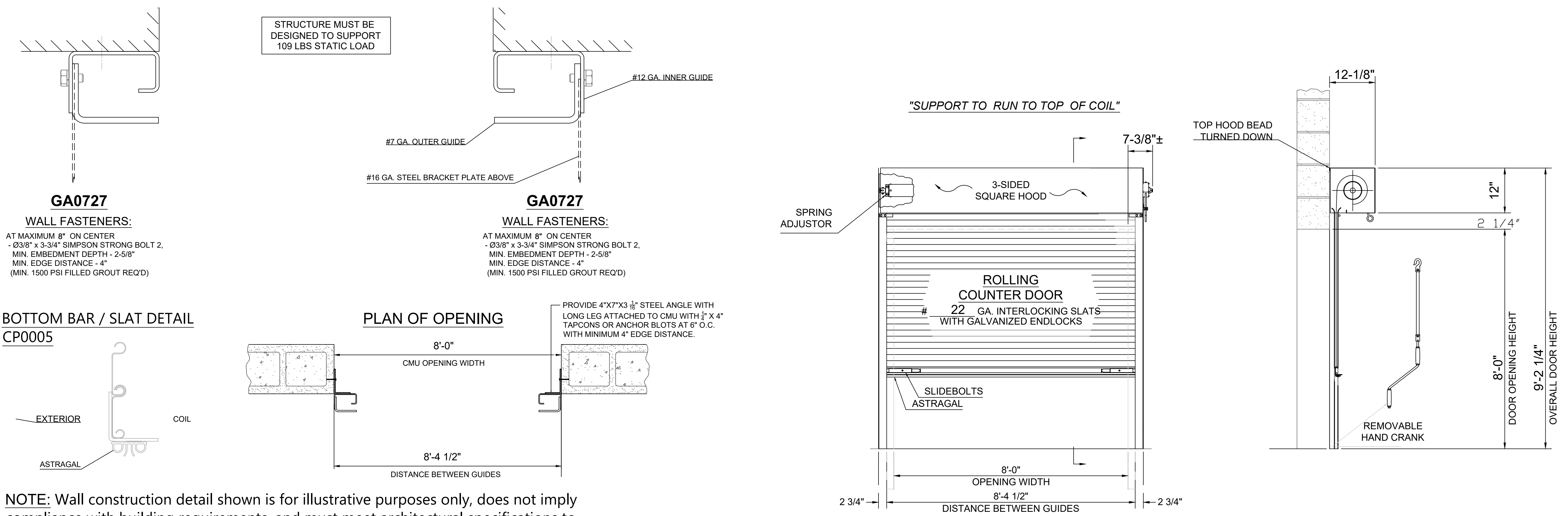
Salt Shack Restaurant - Clermont

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846 W. Osceola Street
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Project Phase: Construction Documents

Coiling Door Details,
Sections and
Elevations



NOTE: Wall construction detail shown is for illustrative purposes only, does not imply compliance with building requirements, and must meet architectural specifications to properly support product. Products designed with wind load requirements must be properly fastened to structural members as specified in order to avoid catastrophic failure. Wall construction and closure installation shall be in accordance with the local authority having jurisdiction requirements.

Florida Product Approval
Cornell Counter Door Model ESC10:
FPA- FL 19074 R3 Ae-ES-16-75-CIW

Rolling Counter Door Details

Rolling Counter Elevations

General Note:
Drawings not to scale



St. Johns River Water Management District

Michael A. Register, P.E., Executive Director

4049 Reid Street • P.O. Box 1429 • Palatka, FL 32178-1429 • 386-329-4500 • www.sjrwmd.com

June 27, 2025

Verneka Strom
Lilly Pad Lodge LLC
1655 E Highway 50
Ste 203
Clermont, FL 34711-5056

SUBJECT: 42435-4
Salt Shack - Deck and Outdoor Dining Area

Dear Sir/Madam:

Enclosed is your individual permit issued by the St. Johns River Water Management District on June 27, 2025. This permit is a legal document and should be kept with your other important documents. Permit issuance does not relieve you from the responsibility of obtaining any necessary permits from any federal, state, or local agencies for your project.

Technical Staff Report:

If you wish to receive a copy of a Technical Staff Report (TSR) that provides the District staff's analysis of the permit application, go to our ePermit portal on the District's website at <https://permitting.sjrwmd.com/ep/#/ep>, and then click on "Regulatory Search" from the Search option on the blue bar. From the search page, enter the Application/Permit #, and the Sequence # in the appropriate boxes and then click on Search. Click on the application/permit number hyperlink, to take you to a listing of all documents, including the TSR, for this permit.

Noticing Your Permit:

For noticing instructions, please refer to the noticing materials in this package regarding closing the point of entry for someone to challenge the issuance of your permit. Please note that if a timely petition for administrative hearing is filed, your permit will become non-final and any activities that you choose to undertake pursuant to your permit will be at your own risk. Please refer to the attached Notice of Rights to determine any legal rights you may have concerning the District's agency action.

Compliance with Permit Conditions:

To submit your required permit compliance information, go to our ePermit portal on the District's website at <https://permitting.sjrwmd.com/ep/#/ep>. Once you have logged in to your account go to the "Processed Applications" panel and click on the hyperlink in the "Items Due" column. If you don't see your permit on this panel, you can add it as a "Favorite" by clicking on the "Favorite" icon at the top of the dashboard. This hyperlink will take you to a list of pending submittals due, and choose the appropriate submittal and click on the "Edit" icon to add necessary documents or information, and then submit. You can also submit this compliance data from the "Services"

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FLEMING ISLAND

Ryan Atwood
MOUNT DORA

Maryam H. Ghyabi-White, VICE CHAIR
ORMOND BEACH

Doug Bournique
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J. Chris Peterson, SECRETARY
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MERRITT ISLAND

Janet Price
FERNANDINA BEACH

menu after logging in to your account. You will find the link under "Miscellaneous" services menu. The associated compliance forms to comply with your permit conditions are available at <https://www.sjrwmd.com/documents/permitting/> .

Transferring Your Permit:

Your permit requires you to notify the District within 30 days of any change in ownership or control of the project or activity covered by the permit, or within 30 days of any change in ownership or control of the real property on which the permitted project or activity is located or occurs. You will need to provide the District with the information specified in rule 62-330.340, Florida Administrative Code (F.A.C.). Generally, this will require you to complete and submit Form 62-330.340(1), "Request to Transfer Permit," available at <https://www.sjrwmd.com/documents/permitting/>. You can apply for a permit transfer on our the District's ePermit portal at <https://permitting.sjrwmd.com/ep/#/ep>. Once you have logged in, click on "Transfer Request" from the "SWERP/ERP Applications" Services menu.

Thank you and please let us know if you have additional questions. For general questions contact e-permit@sjrwmd.com or (386) 329-4570.

Sincerely,



Jeff Prather, Division Director
Division of Regulatory Services
St. Johns River Water Management District
2501 S. Binion Rd
Apopka, FL 32703
321-676-6609

Enclosures: Permit
Notice of Rights
List of Newspapers for Publication

cc: District Permit File

"EXHIBIT A"
CONDITIONS FOR ISSUANCE OF PERMIT NUMBER 42435-4
Salt Shack - Deck and Outdoor Dining Area
DATED June 27, 2025

1. All activities shall be implemented following the plans, specifications and performance criteria approved by this permit. Any deviations must be authorized in a permit modification in accordance with Rule 62-330.315, F.A.C. Any deviations that are not so authorized may subject the permittee to enforcement action and revocation of the permit under Chapter 373, F.S.
2. A complete copy of this permit shall be kept at the work site of the permitted activity during the construction phase, and shall be available for review at the work site upon request by the District staff. The permittee shall require the contractor to review the complete permit prior to beginning construction.
3. Activities shall be conducted in a manner that does not cause or contribute to violations of state water quality standards. Performance-based erosion and sediment control best management practices shall be installed immediately prior to, and be maintained during and after construction as needed, to prevent adverse impacts to the water resources and adjacent lands. Such practices shall be in accordance with the State of Florida Erosion and Sediment Control Designer and Reviewer Manual (Florida Department of Environmental Protection and Florida Department of Transportation June 2007), and the Florida Stormwater Erosion and Sedimentation Control Inspector's Manual (Florida Department of Environmental Protection, Nonpoint Source Management Section, Tallahassee, Florida, July 2008), which are both incorporated by reference in subparagraph 62-330.050(9)(b)5, F.A.C., unless a project-specific erosion and sediment control plan is approved or other water quality control measures are required as part of the permit.
4. At least 48 hours prior to beginning the authorized activities, the permittee shall submit to the District a fully executed Form 62-330.350(1), "Construction Commencement Notice," (October 1, 2013) (<http://www.flrules.org/Gateway/reference.asp?No=Ref-02505>), incorporated by reference herein, indicating the expected start and completion dates. A copy of this form may be obtained from the District, as described in subsection 62-330.010(5), F.A.C., and shall be submitted electronically or by mail to the Agency. However, for activities involving more than one acre of construction that also require a NPDES stormwater construction general permit, submittal of the Notice of Intent to Use Generic Permit for Stormwater Discharge from Large and Small Construction Activities, DEP Form 62-621.300(4)(b), shall also serve as notice of commencement of construction under this chapter and, in such a case, submittal of Form 62-330.350(1) is not required.
5. Unless the permit is transferred under Rule 62-330.340, F.A.C., or transferred to an operating entity under Rule 62-330.310, F.A.C., the permittee is liable to comply with the plans, terms and conditions of the permit for the life of the project or activity.
6. Within 30 days after completing construction of the entire project, or any independent portion of the project, the permittee shall provide the following to the Agency, as applicable:
 - a. For an individual, private single-family residential dwelling unit, duplex, triplex, or quadruplex — "Construction Completion and Inspection Certification for Activities Associated with a Private Single-Family Dwelling Unit" [Form 62-330.310(3)]; or

- b. For all other activities — “As-Built Certification and Request for Conversion to Operation Phase” [Form 62-330.310(1)].
 - c. If available, an Agency website that fulfills this certification requirement may be used in lieu of the form.
7. If the final operation and maintenance entity is a third party:
 - a. Prior to sales of any lot or unit served by the activity and within one year of permit issuance, or within 30 days of as-built certification, whichever comes first, the permittee shall submit, as applicable, a copy of the operation and maintenance documents (see sections 12.3 thru 12.3.4 of Volume I) as filed with the Florida Department of State, Division of Corporations and a copy of any easement, plat, or deed restriction needed to operate or maintain the project, as recorded with the Clerk of the Court in the County in which the activity is located.
 - b. Within 30 days of submittal of the as- built certification, the permittee shall submit “Request for Transfer of Environmental Resource Permit to the Perpetual Operation and Maintenance Entity” [Form 62-330.310(2)] to transfer the permit to the operation and maintenance entity, along with the documentation requested in the form. If available, an Agency website that fulfills this transfer requirement may be used in lieu of the form.
8. The permittee shall notify the District in writing of changes required by any other regulatory District that require changes to the permitted activity, and any required modification of this permit must be obtained prior to implementing the changes.
9. This permit does not:
 - a. Convey to the permittee any property rights or privileges, or any other rights or privileges other than those specified herein or in Chapter 62-330, F.A.C.;
 - b. Convey to the permittee or create in the permittee any interest in real property;
 - c. Relieve the permittee from the need to obtain and comply with any other required federal, state, and local authorization, law, rule, or ordinance; or
 - d. Authorize any entrance upon or work on property that is not owned, held in easement, or controlled by the permittee.
10. Prior to conducting any activities on state-owned submerged lands or other lands of the state, title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund, the permittee must receive all necessary approvals and authorizations under Chapters 253 and 258, F.S. Written authorization that requires formal execution by the Board of Trustees of the Internal Improvement Trust Fund shall not be considered received until it has been fully executed.
11. The permittee shall hold and save the District harmless from any and all damages, claims, or liabilities that may arise by reason of the construction, alteration, operation, maintenance, removal, abandonment or use of any project authorized by the permit.
12. The permittee shall notify the District in writing:
 - a. Immediately if any previously submitted information is discovered to be inaccurate; and

- b. Within 30 days of any conveyance or division of ownership or control of the property or the system, other than conveyance via a long-term lease, and the new owner shall request transfer of the permit in accordance with Rule 62-330.340, F.A.C. This does not apply to the sale of lots or units in residential or commercial subdivisions or condominiums where the stormwater management system has been completed and converted to the operation phase.
13. Upon reasonable notice to the permittee, District staff with proper identification shall have permission to enter, inspect, sample and test the project or activities to ensure conformity with the plans and specifications authorized in the permit.
 14. If prehistoric or historic artifacts, such as pottery or ceramics, projectile points, stone tools, dugout canoes, metal implements, historic building materials, or any other physical remains that could be associated with Native American, early European, or American settlement are encountered at any time within the project site area, the permitted project shall cease all activities involving subsurface disturbance in the vicinity of the discovery. The permittee or other designee shall contact the Florida Department of State, Division of Historical Resources, Compliance Review Section (DHR), at (850) 245-6333, as well as the appropriate permitting agency office. Project activities shall not resume without verbal or written authorization from the Division of Historical Resources. If unmarked human remains are encountered, all work shall stop immediately and the proper authorities notified in accordance with Section 872.05, F.S. For project activities subject to prior consultation with the DHR and as an alternative to the above requirements, the permittee may follow procedures for unanticipated discoveries as set forth within a cultural resources assessment survey determined complete and sufficient by DHR and included as a specific permit condition herein.
 15. Any delineation of the extent of a wetland or other surface water submitted as part of the permit application, including plans or other supporting documentation, shall not be considered binding unless a specific condition of this permit or a formal determination under Rule 62-330.201, F.A.C., provides otherwise.
 16. The permittee shall provide routine maintenance of all components of the stormwater management system to remove trapped sediments and debris. Removed materials shall be disposed of in a landfill or other uplands in a manner that does not require a permit under Chapter 62-330, F.A.C., or cause violations of state water quality standards.
 17. This permit is issued based on the applicant's submitted information that reasonably demonstrates that adverse water resource-related impacts will not be caused by the completed permit activity. If any adverse impacts result, the District will require the permittee to eliminate the cause, obtain any necessary permit modification, and take any necessary corrective actions to resolve the adverse impacts.
 18. A Recorded Notice of Environmental Resource Permit may be recorded in the county public records in accordance with Rule 62-330.090(7), F.A.C. Such notice is not an encumbrance upon the property.
 19. This permit for construction will expire five years from the date of issuance.
 20. All wetland areas or water bodies that are outside the specific limits of construction authorized by this permit must be protected from erosion, siltation, scouring or excess turbidity, and dewatering.
 21. This permit does not authorize the permittee to cause any adverse impact to or "take" of state listed species and other regulated species of fish and wildlife. Compliance with state laws regulating the take of fish and wildlife is the responsibility of the owner or applicant

associated with this project. Please refer to Chapter 68A-27 of the Florida Administrative Code for definitions of “take” and a list of fish and wildlife species. If listed species are observed onsite, FWC staff are available to provide decision support information or assist in obtaining the appropriate FWC permits. Most marine endangered and threatened species are statutorily protected and a “take” permit cannot be issued. Requests for further information or review can be sent to FWCConservationPlanningServices@MyFWC.com.

22. The proposed project must be constructed and operated as per plans received by the District on April 25, 2025.
23. The installation of the french drain, connection to the Victory Point master pond, and the exfiltration trench must be completed within six months of permit issuance.
24. All activities are located in uplands and above the safe upland line. No work is proposed in wetland or in sovereign, submerged lands (Lake Minneola). This includes mooring vessels along the shoreline. The permittee shall install permanent no mooring signs as shown on the plans received by the District on April 25, 2025.



CITY OF CLERMONT

Staff Analysis Report

OWNER: Lilly Pad Lodge, LLC

APPLICANT: Jimmy Crawford

PROJECT NAME: Salt Shack Deck

REQUESTED ACTION: Consider a request for a Conditional Use Permit to amend 2023-011R to include an additional outdoor seating area towards the north side of the Salt Shack on the Lake restaurant.

SIZE OF PARCEL: 1.06 +/- Acres

LOCATION: Northwest of the W Osceola St. and 8th St. intersection (Alternate Key 1616891 & 3784611)

EXISTING ZONING: Central Business District (CBD)

FUTURE LAND USE: Downtown MU

EXISTING USE: Restaurant

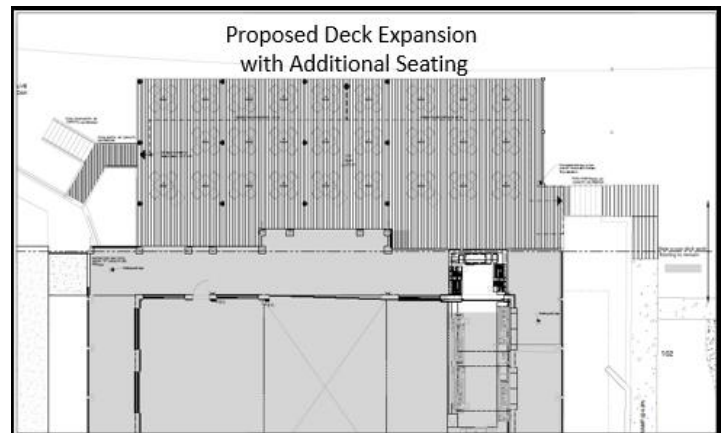
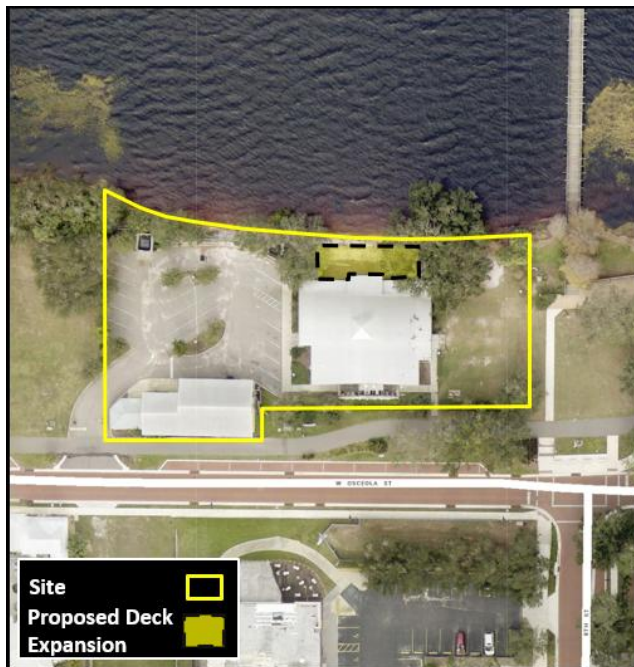
Adjacent Property Land Use Table

<u>Direction</u>	<u>Future Land Use</u>	<u>Zoning</u>	<u>Existing Use</u>	<u>Comments</u>
North	N/A	N/A	N/A	Lake Minneola
South	Downtown MU	CBD	Retail	Epic Cycles
East	Parks	Parks and Recreation District	Park & Trail	Waterfront Park
West	Downtown MU	CBD	Parking	Victory Pointe Parking Lot

STAFF ANALYSIS:

The applicant, Jimmy Crawford, Esq., is requesting a Conditional Use Permit (CUP) amendment to revise the site plan in Resolution 2023-011R to include the expansion of the restaurant deck and an additional outdoor seating area on the north side of the Salt Shack on the Lake restaurant, located in the CBD Central Business District. The property is located at 846 West Osceola Street, formerly known as Lilly’s on the Lake.

The proposed amendment includes an enlarged deck footprint and the addition of new outdoor seating to accommodate increased dining capacity. With the addition of seating, staff has included an updated condition in the revised resolution requiring that any additional parking demand generated by the expanded seating area be satisfied through payment into the City’s Parking Fund, as allowed under 115-14 (c)(2) of the Land Development Code. This payment must be made prior to approval of the Site Review application. The current cost per space in the parking fund is \$3,000, as approved by City Council. If this is increased prior to the time of site plan approval, then the applicant would be responsible for paying the new fee. Based upon the anticipated additional seating of 104 seats, the parking requirements would be one space for every 8 seats. This would equate to 13 spaces and a payment of \$39,000 into the parking fund at the current rate.



The project does not require approval from the City regarding lakefront impacts. The applicant has already secured permit approval for the proposed improvements from the St. Johns River Water Management District (SJRWMD).

The CUP amendment does not alter the approved use but modifies the configuration of the outdoor dining area to improve functionality and enhance customer experience. All other conditions of Resolution 2023-011R remain in effect.

The proposed increase in seating does not appear to be detrimental to the health, safety and welfare of the surrounding community. The City did receive a noise complaint in May of 2024. An investigation was conducted and it was found that the sound was a result of the mechanical equipment at the site. Sound compression blankets were installed on the exhaust fans and HVAC equipment in July of 2024. This reduced the sound decibels well below the City's sound decibel limits and no further complaints have been received.

STAFF RECOMMENDATION:

When evaluating a request for a Conditional Use Permit, the Land Development Code, Section 101-212 requires specific development standards that are required to be met. Staff has reviewed the application as submitted in accordance with the development standards criteria and finds the proposed use can meet the general criteria for granting a Conditional Use Permit. The proposed use will not be detrimental to the health, safety and welfare of the surrounding community. Staff recommends approval of the Conditional Use Permit with the conditions contained in Resolution No. 2026-005R.



CITY OF CLERMONT
CONDITIONAL USE PERMIT
 APPLICATION

Date 11-12-25		FEE: \$845 + cost of advertisement + cost of traffic review (if necessary)		
Project Name (if applicable) Salt Shack Deck				
Applicant Jimmy Crawford				
Contact Person " "				
Address 702 W. MONTROSE ST.		City CLERMONT	State FL	Zip 34711
Telephone (352) 432-8644		(Glad you finally gave up on the Fax #!)		
Email jcrawford@cmhlawyers.com; Ewysocki@cmhlawyers.com				
PROPERTY OWNER INFORMATION <input checked="" type="checkbox"/> (Check box if owner information is same as applicant)				
Property Owner Name Lilly Pad Lodge, LLC				
Owner Address 6160 Fairmont Ave; Suite A		City San Diego	State CA	Zip 92120
Telephone (352) 432-8644		Email jcrawford@cmhlawyers.com		
PROPERTY INFORMATION				
Address of Subject Property 846 W. Osceola St, Clermont		Alternate Key 3784611	State FL	Zip 34711
General Location Lake Minneola, Osceola + 8th St				
Legal Description & Alternate Key (Include copy of survey) 3784611 - see attached				
Land Use (City verification required) Downtown MU				
Zoning (City verification required) CBD				



CITY OF CLERMONT
CONDITIONAL USE PERMIT
APPLICATION

Detailed Description of request (What are you proposing to do, and why is it appropriate for this location?) Attach additional page if necessary.

- Add decking and \approx 19 4-top tables (76 seats)
- Requires only Concept Plan amendment.

Jimmy Crawford
Applicant Name (print)

[Signature]
Applicant Name (signature)

Erikstrom, Mgr
Owner Name (print)

[Signature]
Owner Name (signature)

*****NOTICE*****

IF THIS APPLICATION IS SUBMITTED INCOMPLETE OR INACCURATE, IT WILL BE SUBJECT TO A DELAY ON PROCESSING AND WILL NOT BE SCHEDULED UNTIL CORRECTIONS ARE MADE.

City of Clermont
Development Services Department
685 W. Montrose St.
P.O. Box 120219
Clermont, FL 34712-0219
(352) 394-4083 Fax: (352) 394 3542
Planning@clermontfl.org

02/08/2024

PROPERTY RECORD CARD

General Information

Name:	LILLY PAD LODGE LLC	Alternate Key:	3784611
Mailing Address:	6160 FAIRMONT AVE STE A SAN DIEGO, CA 92120 Update Mailing Address	Parcel Number:	24-22-25-0175-000-00019
		Millage Group and City:	00C1 Clermont
		2023 Total Certified Millage Rate:	17.3304
		Trash/Recycling/Water/Info:	My Public Services Map
Property Location:	846 W OSCEOLA ST CLERMONT FL, 34711	Property Name:	LILLY'S ON THE LAKE Submit Property Name
		School Information:	School Locator & Bus Stop Map School Boundary Maps
Property Description:	CLERMONT BEG AT INTERSECTION OF W LINE OF EIGHTH ST, EXTENDED & S'LY SHORE LINE OF LAKE MINNEOLA, RUN S'LY ALONG W LINE OF EIGHTH ST TO A POINT 54 FT N'LY, MEASURED AT RIGHT ANLGES FROM CENTERLINE OF SEABOARD COAST LINE OF RR R/W, THENCE W'LY PARALLEL WITH CENTERLINE 200 FT TO THE POINT OF INTERSECTION WITH A LINE PARALLEL TO & 30 FT S'LY, MEASURED AT RIGHT ANGLES FROM CENTERLINE OF TAVARES & GULF RR R/W, W'LY ALONG SAID LINE PARALLEL TO SAID CENTERLINE OF TAVARES & GULF RR R/W 287.50 FT TO E LINE OF WEST AVE, N ALONG E LINE OF WEST AVE EXTENDED TO THE S'LY SHORE LINE OF LAKE MINNEOLA, E'LY ALONG SAID SHORE LINE 490 FT TO POB--LESS FROM INTERSECTION OF E R/W LINE OF WEST AVE WITH N R/W LINE OF OSCEOLA ST RUN N 00DEG 04MIN 04SEC E ALONG SAID E R/W LINE OF WEST AVE 43.10 FT FOR POB, CONT N 00DEG 04MIN 04SEC E ALONG SAID E R/W LINE 161 FT TO A POINT ON SHORE LINE OF LAKE MINNEOLA & PT A, RETURN TO POB, RUN S 84DEG 57MIN 54SEC E 187.98 FT, N 00DEG 02MIN 22SEC W 148 FT TO SHORE LINE OF LAKE MINNEOLA, W'LY ALONG SAID SHORE LINE TO PT A-- PB 8 PGS 17-23 ORB 4044 PG 1584		
<small>NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.</small>			

Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class Value	Land Value
1	RESTAURANT (2100)	0	0		37510.000	Square Feet	\$635,419.00	\$635,419.00
2	SUBMERGED LAND (9500)	0	0		0.230	Acre	\$2.00	\$2.00

[Click here for Zoning Info Map](#)
[FEMA Flood](#)

Commercial Building(s)

Building 1

Commercial	Building Value: \$522,694.00 Building Use: RESTAURANT & CAFETERIA (21C) Structure Type:		
Summary	Section(s)		
Year Built: 2015	Section Type	No. Stories	Ground Floor Area
Total Effective Area: 6669	COMMERCIAL CANOPY (COP)	1.00	2061
Full Bathrooms: 2	FINISHED LIVING AREA (FLA)	1.00	4608
Half Bathrooms: 0	<p style="text-align: right;">View Larger</p>		
Elevators: 0			
Elevator Landings: 0			
Residential Units: 0			
Kitchens: 0			
Fireplaces: 0			

Miscellaneous Improvements

No.	Type	No. Units	Unit Type	Year	Depreciated Value
1	PAVING (CPAV1)	11519	SF	2015	\$12,689.00
2	PAVING (CPAV2)	1661	SF	2015	\$3,163.00
3	DECORATIVE WALL (CDWL2)	288	SF	2015	\$1,438.00
4	FENCE (CFEN2)	381	SF	2015	\$842.00
5	PARKING LOT LIGHT (CPFL1)	5	UT	2015	\$2,960.00

Sales History

NOTE: This section is not intended to be a complete chain of title. Additional official book/page numbers may be listed in the property description above and/or recorded and indexed with the Clerk of Court. [Follow this link to search all documents by owner's name.](#)

Book/Page	Sale Date	Instrument	Qualified/Unqualified	Vacant/Improved	Sale Price
4044 / 1584	06/2011	Warranty Deed	Unqualified	Vacant	\$650,000.00
2735 / 729	12/2004	Quit Claim Deed	Unqualified	Vacant	\$245,000.00
1660 / 22	11/1998	Warranty Deed	Qualified	Vacant	\$413,800.00
1660 / 14	11/1998	Quit Claim Deed	Unqualified	Vacant	\$0.00
1660 / 8	11/1998	Quit Claim Deed	Unqualified	Vacant	\$0.00

[Click here to search for mortgages, liens, and other legal documents.](#)

Values and Estimated Ad Valorem Taxes

Values shown below are 2024 WORKING VALUES that are subject to change until certified.

Tax Authority	Market Value	Assessed Value	Taxable Value	Millage	Estimated Taxes
LAKE COUNTY BCC GENERAL FUND	\$1,179,207	\$1,179,207	\$1,179,207	5.0364	\$5,938.96
SCHOOL BOARD STATE	\$1,179,207	\$1,179,207	\$1,179,207	3.2080	\$3,782.90
SCHOOL BOARD LOCAL	\$1,179,207	\$1,179,207	\$1,179,207	2.9980	\$3,535.26
LAKE COUNTY WATER AUTHORITY	\$1,179,207	\$1,179,207	\$1,179,207	0.2940	\$346.69
ST JOHNS RIVER FL WATER MGMT DIST	\$1,179,207	\$1,179,207	\$1,179,207	0.1793	\$211.43
CITY OF CLERMONT	\$1,179,207	\$1,179,207	\$1,179,207	5.0600	\$5,966.79
LAKE COUNTY MSTU AMBULANCE	\$1,179,207	\$1,179,207	\$1,179,207	0.4629	\$545.85
LAKE COUNTY VOTED DEBT SERVICE	\$1,179,207	\$1,179,207	\$1,179,207	0.0918	\$108.25
				Total: 17.3304	Total: \$20,436.13

Exemptions Information

This property is benefitting from the following exemptions with a checkmark ✓

Homestead Exemption (first exemption up to \$25,000)	Learn More View the Law
Additional Homestead Exemption (up to an additional \$25,000)	Learn More View the Law
Limited Income Senior Exemption (applied to county millage - up to \$50,000)	Learn More View the Law
Limited Income Senior Exemption (applied to city millage - up to \$25,000) ✓	Learn More View the Law
Limited Income Senior 25 Year Residency (county millage only-exemption amount varies)	Learn More View the Law
Widow / Widower Exemption (up to \$5,000)	Learn More View the Law
Blind Exemption (up to \$500)	Learn More View the Law
Disability Exemption (up to \$5,000)	Learn More View the Law
Total and Permanent Disability Exemption (amount varies)	Learn More View the Law
Veteran's Disability Exemption (\$5,000)	Learn More View the Law
Veteran's Total and Permanent Disability Exemption (amount varies)	Learn More View the Law
Veteran's Combat Related Disability Exemption (amount varies)	Learn More View the Law
Deployed Servicemember Exemption (amount varies)	Learn More View the Law
First Responder Total and Permanent Disability Exemption (amount varies)	Learn More View the Law
Surviving Spouse of First Responder Exemption (amount varies)	Learn More View the Law
Conservation Exemption (amount varies)	Learn More View the Law
Tangible Personal Property Exemption (up to \$25,000)	Learn More View the Law
Religious, Charitable, Institutional, and Organizational Exemptions (amount varies)	Learn More View the Law
Economic Development Exemption	Learn More View the Law
Government Exemption (amount varies)	Learn More View the Law

NOTE: Information on this Property Record Card is compiled and used by the Lake County Property Appraiser for the sole purpose of ad valorem property tax assessment administration in accordance with the Florida Constitution, Statutes, and Administrative Code. The Lake County Property Appraiser makes no representations or warranties regarding the completeness and accuracy of the data herein, its use or interpretation, the fee or beneficial/equitable title ownership or encumbrances of the property, and assumes no liability associated with its use or misuse. See the posted [Site Notice](#).

SALT SHACK LEGAL DESCRIPTION

Property Description Parcel 1: The land referred to herein below is situated in the County of Lake, State of FL, and is described as follows: BEGIN at the intersection of the West line of Eighth Street, extended, and the Southerly shore line of Lake Minneola, according to the Official Map of Clermont, recorded in Plat Book 8, Pages 17 through 23, inclusive, Public Records of Lake County, Florida, run thence Southerly along the West line of Eighth Street to a point 54 feet Northerly, measured at right angles, from the center line of the Seaboard Coast Line Railroad Company's main tract; thence Westerly, parallel with the center line of said main track 200 feet, more or less, to the point of intersection with a line parallel to and 30 feet Southerly, measured at right angles, from the center line of the former Tavares and Gulf Railroad Company's main track as formerly located; thence Westerly along said line parallel to said center line of Tavares and Gulf Railroad Company's former track, 287.5 feet, more or less, to the east line of West Avenue, Official Map of Clermont; thence North along the East line of West Avenue extended to the Southerly shore line of Lake Minneola; thence Easterly along said shore line 490 feet, more or less, to the POINT OF BEGINNING.



Account Number:	526733
Customer Name:	City Of Clermont-Legals
Customer Address:	City of Clermont - LEGALS Po Box 120219 Clermont FL 34712-0219
Contact Name:	City of Clermont
Contact Phone:	352.394.4081
Contact Email:	
PO Number:	

Date:	02/09/2026
Order Number:	12074357
Prepayment Amount:	\$ 0.00

Column Count:	1.0000
Line Count:	55.0000
Height in Inches:	4.5600

Print

Product	#Insertions	Start - End	Category
LEE Daily Commercial	1	02/24/2026 - 02/24/2026	Govt Public Notices
LEE dailycommercial.com	1	02/24/2026 - 02/24/2026	Govt Public Notices

As an incentive for customers, we provide a discount off the total order cost equal to the 3.99% service fee if you pay with Cash/Check/ACH. Pay by Cash/Check/ACH and save!

Total Cash Order Confirmation Amount Due	\$88.90
Tax Amount	\$0.00
Service Fee 3.99%	\$3.55
Cash/Check/ACH Discount	-\$3.55
Payment Amount by Cash/Check/ACH	\$88.90
Payment Amount by Credit Card	\$92.45

Order Confirmation Amount	\$88.90
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Ad Preview

LEGAL NOTICE

On Tuesday, March 3, 2026 at 6:30 PM the Clermont Planning & Zoning Commission will consider a request for a Conditional Use Permit (2026-001R) to amend 2023-011R to include an additional outdoor seating area towards the north side of the Salt Shack on the Lake restaurant located in the CBD Central Business District, at the following location:

LOCATION

Northwest of the W Osceola St.
and 8th St. intersection
846 W Osceola St.
(AK 1616891 & 3784611)
.344 +/- Acres

All public meetings will be held in the Clermont City Hall, 1st floor Council Chambers located at 685 W. Montrose Street, Clermont, FL 34711.

This application is available for public inspection in the Development Services Department, Monday through Friday between the hours of 8:00 AM and 5:00 PM.

All interested parties will be given an opportunity to express their views on this matter.

Please be advised that, under State law, if you should decide to appeal a decision made with respect to this matter, you will need a record of the proceedings, and may need to ensure that a verbatim record is made. Persons with disabilities who need assistance should contact the City Clerk's office, (352) 241-7330, at least 48 hours prior to the public hearings.

Tracy Ackroyd Howe, MMC
City Clerk

Daily Commercial
February 24, 2026
12074357 2/24/2026



AGENDA ITEM

Meeting Date		
Tuesday, March 3, 2026		
Agenda Item Name		
Ordinance No. 2026-013 <i>Certified Recovery Residences</i>		
Requested Action		
Recommend approval of Ordinance No. 2026-013.		
Staff Report		
<p>City staff is proposing an amendment to the Land Development Codes in order to align with new state laws regarding the review and approval processes for certified recovery residences. On June 25, 2025, Senate Bill 954 was signed by the Governor, amending Section 397.487, Florida Statutes, effective July 1, 2025. Section 397.487, of the Florida Statutes, was amended to require local governments in the State of Florida to formalize and streamline the review and approval process for applicants seeking reasonable accommodation from local land use regulations to establish certified recovery residences.</p> <p>If the amendment is approved, a new article under Chapter 125 of the City’s Land Development Codes, entitled Zoning, would be created specifically for certified recovery residences to ensure consistency with the requirements in Section 397.487, Florida Statutes. Staff recommends approval of Ordinance 2026-013.</p>		
Additional Analysis		
Fiscal Impact Summary		
Fiscal Impact	Fund Number and Description	Available Budget Amount
Exhibits Attached (copies of original agreements)		
1. Ord 2026-013 Recovery Residences for PZ		Ord 2026-013 Recovery Residences for PZ.pdf
2. Legal ad - Cert Rec Res PZ		Legal ad - Cert Rec Res PZ.pdf



CITY OF CLERMONT
ORDINANCE NO. 2026-013

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF CLERMONT, LAKE COUNTY, FLORIDA, AMENDING CHAPTER 125, TO ESTABLISH PROCEDURES FOR THE REVIEW AND APPROVAL OF RECOVERY RESIDENCES PURSUANT TO AMENDED SECTION 397.487, FLORIDA STATUTES; PROVIDING FOR CONFLICT, SEVERABILITY, ADMINISTRATIVE CORRECTION OF SCRIVENER’S ERRORS, PUBLICATION AND EFFECTIVE DATE.

WHEREAS, on June 25, 2025, Senate Bill 954 was signed by the Governor, amending Section 397.487(15)(a), Florida Statutes, effective July 1, 2025, which requires local governments in the State of Florida to formalize and streamline the review and approval process for applicants seeking reasonable accommodation from local land use regulations to establish “certified recovery residences”; and

WHEREAS, the City of Clermont desires to amend Chapter 125 of the City Code to ensure consistency with the “certified recovery residences” requirements in Section 397.487(15)(a), Florida Statutes; and

WHEREAS, the passage of this ordinance is intended to ensure that the City of Clermont is in compliance with Section 397.487(15)(a), Florida Statutes; and

WHEREAS, the City of Clermont finds that this Ordinance is in the best interest and welfare of the residents of the city.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CLERMONT, FLORIDA:

SECTION 1: AUTHORITY

The City Council of the City of Clermont has the authority to adopt this Ordinance pursuant to Article VIII of the Constitution of the State of Florida and Chapter 163 and 166, Florida Statutes.

SECTION 2: AMENDING CHAPTER 125, “ZONING”

The Code of Ordinances of the City of Clermont, Florida, Chapter 125, “Zoning” is hereby amended by adding Article VII, “Certified Recovery Residences”, which reads as follows:

ARTICLE VII. - CERTIFIED RECOVERY RESIDENCES

Sec. 125-620. – Purpose and Intent

The purpose of this Article is to establish procedures for the review and approval of certified recovery residences within the City, in accordance with Section 397.487, Florida Statutes, and in a manner consistent with applicable federal and state laws, including but not limited to: the Fair Housing Amendments Act of 1988 (42 U.S.C. §§ 3601 et seq.), Title II of the Americans with



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Disabilities Act of 1990 (42 U.S.C. §§ 12131 et seq.), and Section 397.487, Florida Statutes (collectively referred to herein as “Applicable Laws”).

Sec. 125-621 – Definitions.

Certified Recovery Residence means a recovery residence that holds a valid certificate of compliance and is actively managed by a certified recovery residence administrator.

- (a) A Level I Certified Recovery Residence houses individuals in recovery who have completed treatment, with a minimum of 9 months of sobriety, and is democratically run by the members who reside in the home.
- (b) A Level II Certified Recovery Residence encompasses the traditional perspectives of sober living homes. There is oversight from a house manager who has experience with living in recovery. Residents are expected to follow rules outlined in a resident handbook provided by the certified recovery residence administrator. Residents must pay dues, if applicable, and work toward achieving realistic and defined milestones within a chosen recovery path.
- (c) A Level III Certified Recovery Residence offers higher supervision by staff with formal training to ensure resident accountability. Such residences are staffed 24 hours a day, 7 days a week, and offer residents peer-support services, which may include, but are not limited to, life skill mentoring, recovery planning, and meal preparation. Clinical services may not be performed at the residence. Such residences are most appropriate for persons who require a more structured environment during early recovery from addiction.
- (d) A Level IV Certified Recovery Residence is a residence offered, referred to, or provided by, a licensed service provider to its patients who are required to reside at the residence while receiving intensive outpatient and higher levels of outpatient care. Such residences are staffed 24 hours a day and combine outpatient licensable services with recovery residential living. Residents are required to follow a treatment plan and attend group and individual sessions, in addition to developing a recovery plan within the social model of living in a sober lifestyle. No clinical services are provided at the residence, and all licensable services are provided offsite.

Certified Recovery Residence Administrator means a recovery residence administrator who holds a valid certificate of compliance.

Community Housing means a certified recovery residence offered, referred to, or provided by a licensed service provider to individuals who are required to reside at the residence while receiving intensive outpatient or higher levels of outpatient care. Such housing is classified as a Level IV recovery residence, consistent with the level of support defined in Section 397.311(5), Florida Statutes.

Credentialing entity means an organization approved by the Florida Department of Children and Families (“DCF”) to issue and monitor recovery residence certifications under Section 397.487, Florida Statutes.



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Licensed Service Provider means a public agency, private for-profit or not-for-profit agency, organization, physician, hospital, or other private practitioner that is licensed under Chapter 397, Florida Statutes, to provide substance abuse services through one or more licensed service components.

Sec. 125-622 – Applicability.

This Article applies to all certified recovery residences within the corporate limits of the City. Nothing herein shall be construed to permit the establishment of uncertified recovery residences or to waive compliance with other applicable laws.

Sec. 125-623. – Certification Requirement.

- (a) No recovery residence shall be established or operated within the City unless it is certified by a DCF-approved credentialing entity under Section 397.487, Florida Statutes.
- (b) Proof of current certification shall be provided at the time of zoning compliance review or upon request by the City.
- (c) Failure to maintain certification shall be grounds for enforcement and may result in revocation of any previously granted reasonable accommodation.

Sec. 125-624. – Review and Approval Procedures.

- (a) Certified recovery residences shall be treated as residential uses under applicable zoning classifications.
- (b) Review shall ensure compliance with applicable building, fire, and life safety codes, and shall not impose spacing, occupancy, or operational restrictions that are inconsistent with other residential uses, except as allowed by law.
- (c) The City Manager or City Manager’s designee shall be responsible for reviewing applications.

Sec. 125-625. – Reasonable Accommodation Request Process.

- (a) Pursuant to Section 397.487(15)(b), Florida Statutes, an applicant may request reasonable accommodation from any local land use regulation that serves to prohibit the establishment of a certified recovery residence.
- (b) Application. A request by an applicant for establishing a certified recovery residence under this Section shall be submitted in writing to the Department on an application form approved by the City. This form will be maintained by the Department, as amended from time to time. The application shall contain such questions and requests for information as necessary for processing the certified recovery residence application request, including the following:



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- (1) Submittal. A request by an applicant for the approval of a Certified Recovery Residence, or for reasonable accommodation from any of the City's land use regulations that may prohibit the establishment of a certified recovery residence, shall be submitted by the applicant, in writing, to the City Manager or City Manager's designee on a form prescribed by the City Manager or City Manager's designee. Upon receipt of the application, the City shall date-stamp the application and, if additional information is required, notify the applicant in writing within thirty (30) days after receipt of the application and allow the applicant at least thirty (30) days to respond.

- (2) Application Content. The application shall contain such questions and requests for information as necessary for processing the Certified Recovery Residence application request, including the following:
 - a. Name and contact information of the applicant or the applicant's authorized representative; and
 - b. Property address, parcel identification number, description of the property, and a survey of the property; and
 - c. Consent of the current owner of the subject property, if the applicant is not the owner of the subject property; and
 - d. A letter of intent identifying the existing zoning district of the property, including any previously approved conditions or modifications;
 - e. Description of the accommodation requested and the specific regulation or policy from which relief is sought. Specific citation to the portion of the City Land Development Code from which the applicant seeks a reasonable accommodation and a statement of how the portion of the City's Land Development Code serves to prohibit the establishment of a certified recovery residence.
 - f. Confirm the general location of off-street parking.

- (c) Submission and Processing. An application will be considered complete by the Department if it is submitted in the required form with all mandatory information and material. This provision does not preclude the identification and correction of information submitted by the applicant after an application is accepted.
 - (1) The City shall date-stamp each application upon receipt.
 - (2) If additional information is required, the City shall notify the applicant in writing within 30 days of receipt of the application and allow at least 30 days for the applicant to respond.
 - (3) If the applicant fails to respond to the request for additional information, the Department Director shall deny the request for relief upon the basis that it has been deemed abandoned



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and/or withdrawn. No further action by the City concerning said relief request shall be required.

- (d) Final Determination. The City shall issue a final written determination within 60 days of receiving a complete application. The City's determination shall:
- (1) Approve the request in whole or in part, with or without conditions; or
 - (2) Deny the request, stating with specificity the objective, evidence-based reasons for denial and identifying any deficiencies or actions necessary for reconsideration.
 - (3) If a final written determination is not issued within 60 days after receipt of a completed application, the request shall be deemed approved, unless the applicant and the City mutually agree in writing to a reasonable extension of time.
 - (4) The City may establish additional procedures or submittal requirements consistent with federal and state law. Such procedures shall not conflict with Section 397.487, Florida Statutes, and shall not require public hearings beyond the minimum required by law.

Sec. 125-626. – Criteria

- (a) The City shall apply the following criteria in considering a reasonable accommodation request for establishing a Certified Recovery Residence:
- (1) Whether the applicant has established that he/she, or the individual on whose behalf the application was submitted, is protected under applicable laws.
 - (2) Whether the applicant has established that the requested accommodation is reasonable and necessary to afford the disabled individual an equal opportunity to use and enjoy the property.
 - (3) Whether the requested accommodation would impose an undue financial or administrative burden on the City.
 - (4) Whether the requested accommodation would require a fundamental alteration in the nature of the land use and zoning regulations of the City.
 - (5) If applicable, whether alternative reasonable accommodation could provide an equivalent level of benefit.
 - (6) Any other relevant criteria under applicable laws.
 - (7) That applicant adheres to all applicable state and federal laws relating to Certified Recovery Residences and can demonstrate the same, inclusive of all required licensures or credentials for operation of a Certified Recovery Residence.



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- (8) That the licensed service provider must have a paid certified employee on call during the time when individuals are at a Community Housing location, if applicable;
- (9) That the certified recovery residence operating as Community Housing, which residence is actively managed by a certified recovery residence administrator approved for 100 residents pursuant to Florida Statutes and is wholly owned or controlled by a licensed service provider electing to manage up to 150 residents, shall maintain a service provider personnel to-patient ratio of 1 to 8 and an onsite supervision at the residence during times when residents are at the residence with a personnel-to-resident ratio of 1 to 10, for a Level IV certified recovery residence;
- (10) That the certified recovery residence operating as Community Housing, which residence is actively managed by a certified recovery residence administrator approved for 100 residents pursuant to Florida Statutes and is wholly owned or controlled by a licensed service provider electing to manage up to 300 residents, shall maintain a service provider personnel to-patient ratio of 1 to 8 and maintain onsite supervision at the residence during times when residents are at the residence with a personnel-to resident ratio of 1 to 6.

Sec. 125-627. – Revocation of Granted Accommodation.

- (a) The City may revoke a granted accommodation for cause, including but not limited to:
 - (1) Violation of conditions of approval;
 - (2) Lapse, revocation, or failure to maintain certification; or
 - (3) Operation inconsistent with the representations made in the application.
- (b) A revoked accommodation may be reinstated if the cause for revocation is corrected within 180 days of the City’s notice of revocation

Sec. 125-628. – Federal Law Compliance.

This Article does not relieve the City of its obligations under the Fair Housing Amendments Act of 1988, 42 U.S.C. ss. 3601 et seq., and Title II of the Americans with Disabilities Act, 42 U.S.C. ss. 12131 et seq. The regulation for which the applicant is seeking a reasonable accommodation must not facially discriminate against or otherwise disparately impact the applicant.

SECTION 3: CONFLICT

All ordinances or parts of ordinances in conflict with any of the provisions of this Ordinance are hereby repealed.



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SECTION 4: SEVERABILITY

If any portion of this Ordinance is declared invalid, the invalidated portion shall be severed from the remainder of the Ordinance, and the remainder of the Ordinance shall continue in full force and effect as if enacted without the invalidated portion, except in cases where such continued validity of the remainder would clearly and without doubt contradict or frustrate the intent of the Ordinance as a whole.

SECTION 5: CODIFICATION

The text of Section 2 of this Ordinance shall be codified as a part of the Clermont City Code. The codifier is authorized to make editorial changes not affecting the substance of this Ordinance by the substitution of “Article” for “Ordinance”, “Section” for “Paragraph”, or otherwise to take such editorial license.

SECTION 6: ADMINISTRATIVE CORRECTION OF SCRIVENER’S ERRORS

Regardless of whether such inclusion in the Code as described in Section 5 is accomplished, sections of the Ordinance may be re-numbered or re-lettered and the correction of typographical and/or scrivener’s errors which do not affect the intent may be authorized by the City Manager or City Manager’s designee, without need of public hearing, by filing a corrected or re-codified copy of same with the City Clerk.

SECTION 7: PUBLICATION AND EFFECTIVE DATE

This Ordinance shall be published as provided by law and it shall become law and shall take effect immediately upon its Second Reading and Final Passage.



CITY OF CLERMONT
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PASSED AND ADOPTED by the City Council of the City of Clermont, Lake County, Florida on this 24th day of March, 2026.

CITY OF CLERMONT, FLORIDA

Tim Murry, Mayor

ATTEST

Tracy Ackroyd Howe, MMC
City Clerk

APPROVED AS TO FORM AND LEGALITY

Christian W. Waugh, City Attorney



Account Number:	526733
Customer Name:	City Of Clermont-Legals
Customer Address:	City of Clermont - LEGALS Po Box 120219 Clermont FL 34712-0219
Contact Name:	City of Clermont
Contact Phone:	352.394.4081
Contact Email:	
PO Number:	

Date:	02/09/2026
Order Number:	12074306
Prepayment Amount:	\$ 0.00

Column Count:	1.0000
Line Count:	60.0000
Height in Inches:	4.9700

Print

Product	#Insertions	Start - End	Category
LEE Daily Commercial	1	02/16/2026 - 02/16/2026	Govt Public Notices
LEE dailycommercial.com	1	02/16/2026 - 02/16/2026	Govt Public Notices

As an incentive for customers, we provide a discount off the total order cost equal to the 3.99% service fee if you pay with Cash/Check/ACH. Pay by Cash/Check/ACH and save!

Total Cash Order Confirmation Amount Due	\$96.80
Tax Amount	\$0.00
Service Fee 3.99%	\$3.86
Cash/Check/ACH Discount	-\$3.86
Payment Amount by Cash/Check/ACH	\$96.80
Payment Amount by Credit Card	\$100.66

Order Confirmation Amount	\$96.80
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Ad Preview

LEGAL NOTICE

On Tuesday, March 3, 2026 at 6:30 PM the Clermont Planning and Zoning Commission will consider the proposed ordinance to allow for the amendment of the Land Development Code, Chapter 125 - Zoning.

ORDINANCE NO. 2026-013

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF CLERMONT, LAKE COUNTY, FLORIDA, AMENDING CHAPTER 125, TO ESTABLISH PROCEDURES FOR THE REVIEW AND APPROVAL OF RECOVERY RESIDENCES PURSUANT TO AMENDED SECTION 397.487, FLORIDA STATUTES; PROVIDING FOR CONFLICT, SEVERABILITY, ADMINISTRATIVE CORRECTION OF SCRIVENER'S ERRORS, PUBLICATION AND EFFECTIVE DATE.

All public hearings are held in the Clermont City Hall, Council Chambers, located at 685 West Montrose Street, Clermont, FL 34711.

This amendment is available for public inspection in the Development Services Department, Monday through Friday between the hours of 8:00 AM and 5:00 PM.

All interested parties will be given an opportunity to express their views on this matter.

Please be advised that, under State law, if you should decide to appeal a decision made with respect to this matter, you will need a record of the proceedings, and may need to ensure that a verbatim record is made. Persons with disabilities who need assistance should contact the City Clerk's office, (352) 241-7330, at least 48 hours prior to the public hearings.

Tracy Ackroyd Howe, MMC
City Clerk

Daily Commercial
February 16, 2026
12074306 2/16/2026